

HERITAGE IMPACT STATEMENT



Dalwood Home Site: Proposed *Manly LEP 2013* Amendment

21 Dalwood Avenue, Seaforth
May 2019 | J3565

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1.0 INTRODUCTION

1.1 Preamble

This Heritage Impact Statement has been prepared to accompany a Planning Proposal for the rezoning of part of Dalwood Home Site (Children's Service Facility) at No. 21 Dalwood Avenue, Seaforth, New South Wales.

Dalwood Home Site covers an area of 3.72ha off Dalwood Avenue, Seaforth, within the newly amalgamated Northern Beaches Council area. The site is owned and managed by the Northern Sydney Local Health District. The site is listed as a heritage item of local significance by Schedule 5 Part 1 of the *LEP 2013*, where it is identified as 'Dalwood Home (principal building and stone outbuilding to Dalwood Home),' No. 21 Dalwood Avenue, Seaforth (I270). The principal building and stone outbuilding are also listed on NSW Health's s170 Register under the auspices of the *NSW Heritage Act 1977*.

The planning proposal is for an amendment to *Manly Local Environmental Plan 2013 (LEP 2013)*, on behalf of NSW Ministry of Health. It seeks to rezone Lots 4A, 5A, 6A and 7A in D.P. 17157, part of Lot 1 in D.P. 325720 and part of Lot 1 in D.P. 325784 from part SP2 Infrastructure (Health Services Facilities) and part E2 Environmental Conservation to part R2 Low Density Residential and part E4 Environmental Living. The rezoning will accommodate the future establishment of four dwellings on each of the lots.

The planning proposal is supported by a Concept Layout Plan (CLP) which demonstrates a boundary adjustment between Lot 7A DP 17157, Lot 1 DP 325720 and Lot 1 DP 325784 to expand Lot 7A. The CLP shows the future indicative locations for each of the four dwellings.

This statement has been prepared at the request of the Ministry of Health.

1.2 Authorship

This Heritage Impact Statement (HIS) was prepared by Alice Fuller, B.App.Sc., M.Herit.Cons.(Hons.), and James Phillips, B.Sc.(Arch.), B.Arch., M.Herit.Cons.(Hons.), of Weir Phillips Architects and Heritage Consultants.

1.3 Limitations

An Aboriginal and archaeological assessment were not provided for. The buildings were in use at the time of the site visit and could not be accessed.

1.4 Physical Evidence

An inspection of the Dalwood Home Site and surrounding area took place in March 2019. Unless otherwise stated, the photographs contained in this statement were taken on these occasion.

1.5 Documentary Evidence

The following references were consulted for the preparation of this statement.

1.5.1 General References

- Allen, Jack + Cottier, *Dalwood: Master Development Control Plan 1992*. Copy provided by the client.
- Brian McAteer, *A History of Seaforth, 1906-2006*, NSW, Manly Council, 2006.
- Curby, Pauline, *Seven Miles From Sydney: A History of Manly*, NSW, Manly Council, 2001. WP Heritage Library.

- *Dalwood Rest Home: The House on the Hill*, Balgowlah, Dalwood Rest Home, 1929(?). State Library of NSW.
- *History of Dalwood*. Undated and unattributed document. Copy provided by the client.
- Kate Blackmore and Associated Consultants, *Heritage Study: Municipality of Manly*. Unpublished report prepared for Manly Council and the Department of Environment and Planning, April, 1986. Author copy.
- Kubanyi Architects, *Heritage Assessment and Statement of Heritage Impact for Dalwood, 21 Dalwood Avenue, Seaforth, NSW 2092*. Unpublished report prepared for NSW Health dated 11 April, 2014.
- McLeod, Virginia, *Pictorial History of Manly*, NSW, Kingsclear Books, 2008. Author copy.
- McRitchie, John, *Seaforth*. Dictionary of Sydney (online).
- Refshauge, Richard, 'Allenye, H.G. (1815-1882)', in Douglas Pike (gen.ed), *Australian Dictionary of Biography, Volume 1*, Victoria, Melbourne University Press, 1968.
- Turner, I.S., 'Gurney, Theodore Thomas' in Douglas Pike (gen.ed), *Australian Dictionary of Biography, Volume 4*, Victoria, Melbourne University Press, 1972. Author copy.
- Weir Phillips Architects and Heritage Consultants, *Dalwood Children's Services, Seaforth, NSW: Strategic Site Utilisation Options Plan and Report: Heritage*. Unpublished report prepared for NSW Health, dated December 2012.
- Wells, W.H., *A Geographical Dictionary or Gazetteer of the Australian Colonies*, 1848. Facsimile edition published by the Council of the Library of New South Wales, 1970. Author copy.

1.5.2 Heritage Inventory Sheets

NSW Health s170

- *Dalwood Children's Home Precinct, Principal Building*, No. 21 Dalwood Avenue, Seaforth. Preliminary Heritage and Conservation Register, Northern Sydney Area Health Service. Heritage Register No. 01/2/6/1000.
- *Dalwood Children's Home Precinct, Stone Cut Building*, No. 21 Dalwood Avenue, Seaforth. Preliminary Heritage and Conservation Register, Northern Sydney Area Health Service. Heritage Register No. 01/2/6/1001.

State Heritage Inventory

- *Dalwood- Principal Building*, No. 21 Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 2020383.
- *Dalwood- Stone Out Building*, No. 21 Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 2020384.
- *Principal Building*, Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 3540677.
- *Stone House*, No. 2 Rignold Avenue, Seaforth. State Heritage Inventory Database No.: 2020381.
- *Stone Out Building*, Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 3540678.

National Trust of Australia (NSW)

- *Dalwood's Children Home, formerly Clavering*, Frenches Forest Road, Seaforth. Listing I.D. S7284.

1.5.3 Historic Plans and Photographs

- *Dalwood Home's Dairy*, undated. MML/4209, Manly Library.
- *Dalwood House*, undated. Manly Library.
- *Dalwood House*, c.1928. Photograph part of a framed pamphlet at Dalwood House.
- Fitzgerald Playroom, undated. MML/4208, Manly Library.
- Hood, Sam, *Children at Play at Dalwood Home, 1941*. State Library of NSW.
- Hood, Sam, *Dalwood Home at Seaforth, 1930s*. Showing the later additions made by the Fund to the original house. Home and Away, 7490. State Library of NSW.
- Hood, Sam, *Restoration Work at Dalwood, 1928-1931*. Home and Way, 3112. State Library of NSW.
- NSW Lands Department, (*Aerial photograph over Dalwood House*), 1941. SIXMaps.

1.5.4 Newspaper Articles (TROVE)

- 'Dalwood Home Opened by Dr. Arthur', *The Sydney Morning Herald*, 20 February, 1928.
- 'Dalwood Rest Home Opening by Dr. Arthur', *The Sydney Morning Herald*, 20 October, 1930.
- 'Death of Professor T.T. Gurney', *The Sydney Morning Herald*, 25 October, 1918.
- 'Food for Babies Fund', *The Sydney Morning Herald*, 24 November, 1928.
- 'For Women. Dalwood Rest Home. New Quarters Opened,' *The Sydney Morning Herald*, 16 December, 1929.
- 'Middle Harbour to Let...', *The Sydney Morning Herald*, 12 July, 1902.
- 'Mr. E.A. Dalwood...', *The Sydney Morning Herald*, 10 December, 1927.
- 'On the Highlands of Sydney's Trossachs: The Loch Lomond Estate', *The Sydney Morning Herald*, 14 January, 1922.
- 'Overlooking Sydney's Trassachs, The Loch Lomond Estate, Balgowlah,' *The Sun*, 8 January, 1922.
- 'Real Estate News,' *The Sun*, 11 January, 1922, p.9.
- 'Rest for Mothers', *The Barrier Miner*, 2 April, 1928.
- 'Rest Homes for Mothers', *The Sydney Morning Herald*, 5 December, 1927.
- 'This Home at Balgowlah...', *The Sydney Morning Herald*, 2 December, 1927, p.14.

1.5.5 NSW LPI Records

- Certificate of Title Volume 3266 Folio 162; 4399 Folio 13; 4402 Folio 195; Volume 4516 Folio 174; Volume 4909 Folio 69. NSW LPI.

1.5.6 Council Documents and Heritage Guidelines

- *Manly Local Environmental Plan 2013*.
- Marquis-Kyle, Peter and Walker, Meredith, *The Illustrated Burra Charter*, Victoria, Australia ICOMOS, 2004.
- NSW Heritage Office, *Assessment Heritage Significance*, 2001.
- NSW Heritage Office and DUAP, *Heritage Curtilages*, 1996.

1.6 Site Location and Layout

1.6.1 Site Location

The Dalwood Home Site is located within Seaforth, approximately 9km north of Sydney Central Business District and within the newly amalgamated Northern Beaches Council area. It is located on the western side of the Manly peninsula, towards Middle Harbour.

Dalwood Avenue runs south off Frenchs Forest Road at the point where it meets Clontarf Street. The site is located on the western side of Dalwood Avenue/Clontarf Street and is bounded by Dalwood Avenue to the east, Callicoma Road to the north, Gurney Crescent to the south and private properties to the west (Figure 1).

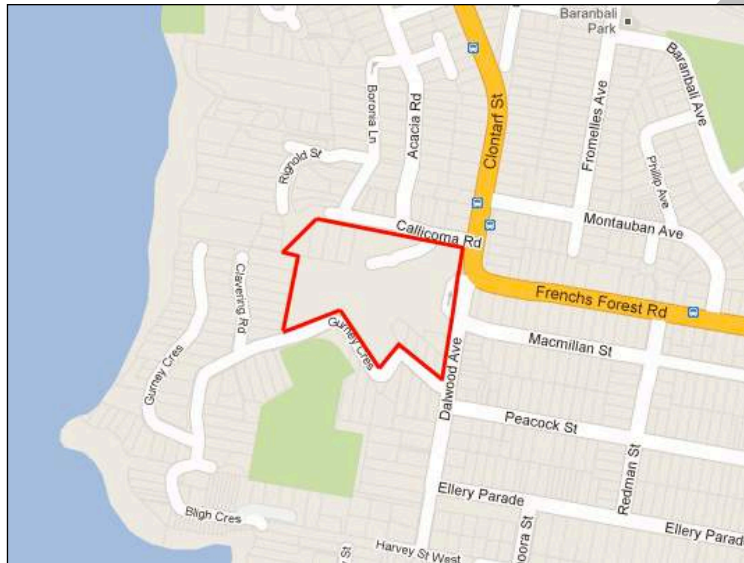


Figure 1:
Site Location.
SIXMaps; annotation by WP
Heritage.

1.6.2 Site Layout

The Dalwood Home Site is irregular in shape and comprises 22 individual allotments, being Lots 1-12 in Section 1 D.P. 620; Lots 76-78 D.P. 11214; Lots 4A, 5A, 6A and 7A D.P. 17157; Lot 1 D.P. 325720; Lot 1 D.P. 325784; and Lot 87 D.P. 666550 (Figure 2).

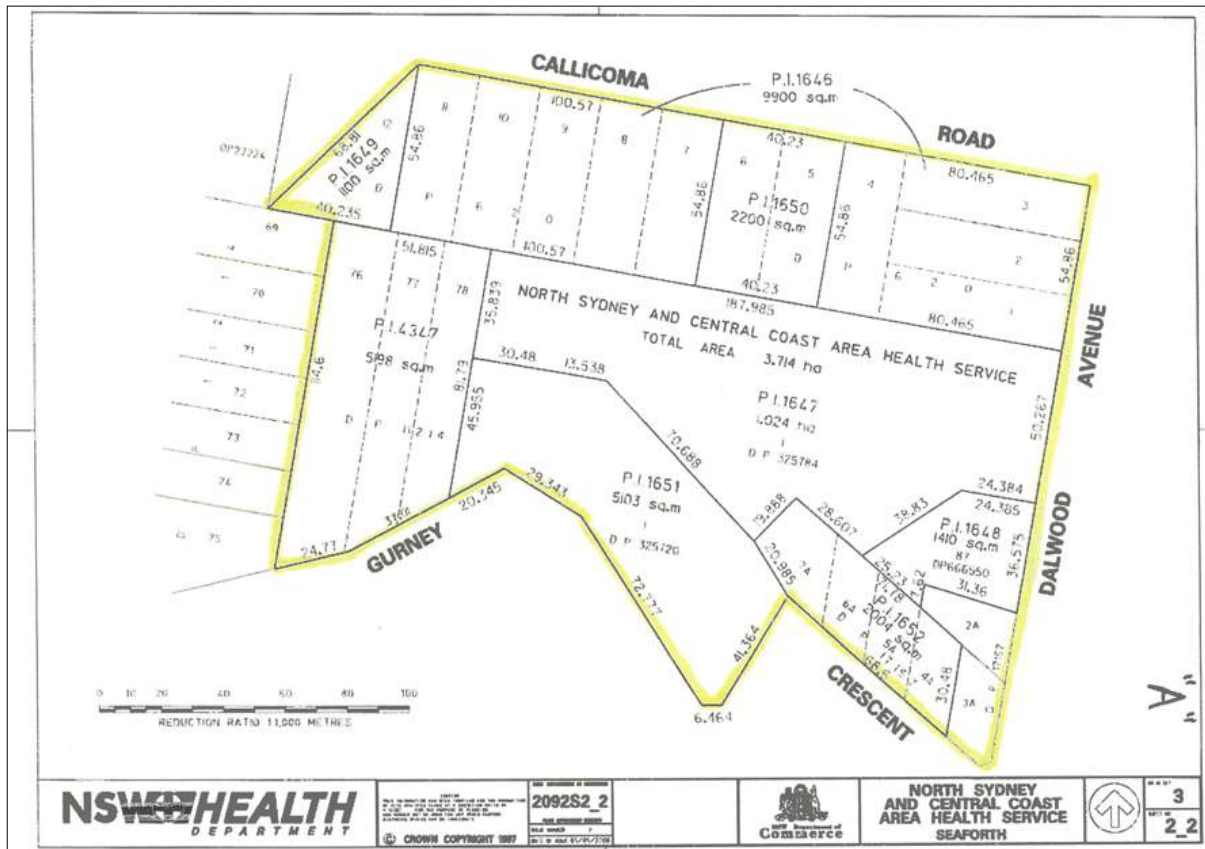


Figure 2: Showing the individual lots comprising the site.
 Provided by the client.7

Figure 3 shows the site layout and identifies the principal structures on the site.

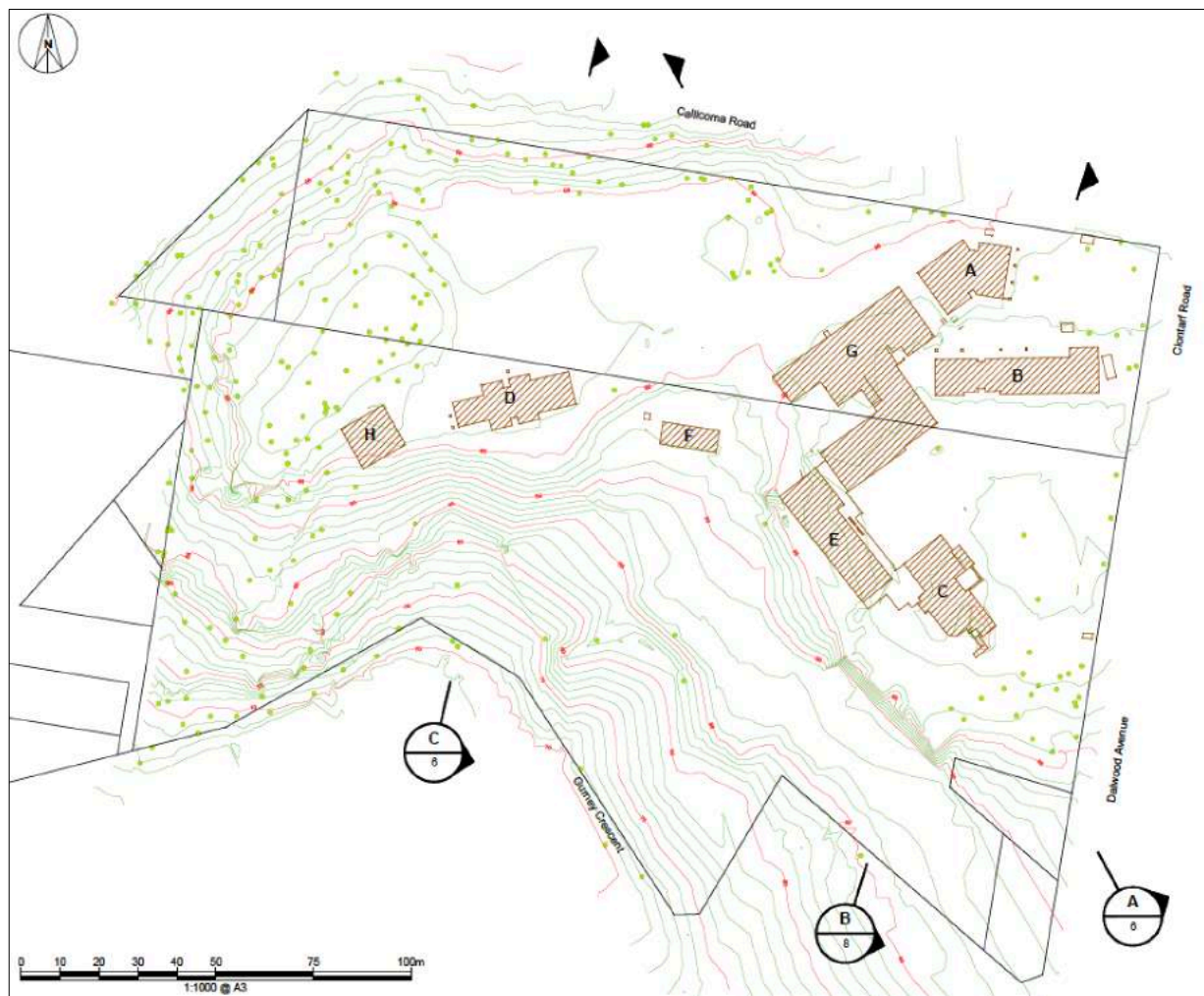
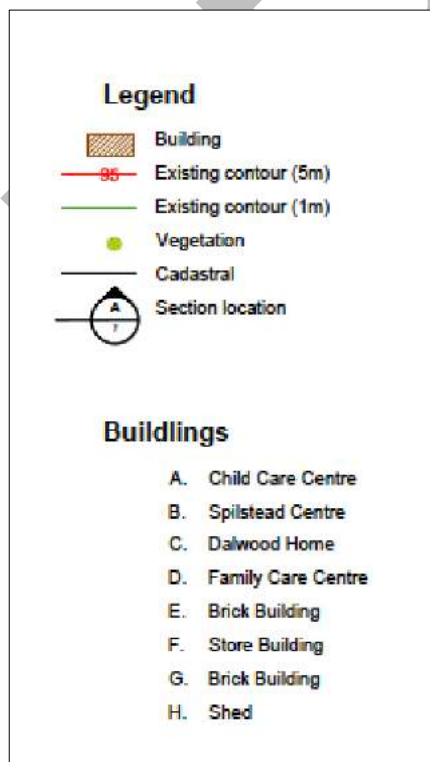


Figure 3:
Site Survey, showing buildings, vegetation and contours.
 Douglas Partners. Date: 5 December, 2012.



2.0 BRIEF OUTLINE OF THE HISTORY OF DALWOOD

2.1 Aboriginal Occupation and Early European History

While an Aboriginal history is not provided for, it is acknowledged that Seaforth lies within the traditional lands of the Birrabirrigal people.

European exploration of Middle Harbour began in January 1788, soon after the establishment of the British Colony of New South Wales. Middle Harbour was used as the starting point for explorations to the north-west of Sydney. During these explorations, the steep terrain of present-day Seaforth would have been noted. The northern shores of Sydney Harbour were located well outside the first boundaries of the township of Sydney. Beyond exploration, timber getting and the collection of shells for lime, the area was largely ignored during the first period of settlement.

The first land grants in the present day Municipality of Manly were made in 1809. Nine grants, ranging in size from 17 acres to 380 acres, were made in the area before 1842. During this period, the Surveyor General Mitchell laid out the Village of North Harbour (later called Balgowlah) at the head of North Harbour (1826). The area, however, remained sparsely populated well into the mid nineteenth century. Only 29 residents were listed in the censuses of 1841 for the Manly/North Harbour area; W.H. Well's *Gazetteer of the Australian Colonies*, published in 1848, indicates that there were only 24 houses and 63 inhabitants in the whole of the Parish of Manly Cove at this time.

The first land grants in present-day Seaforth were made in the 1830s. The largest of the individual lots now comprising the Dalwood Home Site, being Lot 1 D.P. 325784 (on which the most significant buildings lie, is located on part of a grant of 35 acres originally granted to Haynes Gibbes Alleyne by Crown Grant dated 16 May, 1857.¹ The five lots which this proposal seeks to rezone were also located upon this grant.² Other parts of the site stand on part of 27 acres originally granted to Ebenezer Vickery on 26 October, 1859.

What Alleyne used his grant for, if anything, has not been determined for the purposes of this statement. Alleyne, a medical practitioner, had arrived in Sydney in c.1848. He was a government health officer and was a member of a number of institutional boards, such as the Benevolent Asylums Board for the Infirm and Destitute.³

Sometime between 1883 and 1885, Alleyne's grant was sold by the administrator of his estate to Professor Thomas Gurney (1849-1915), second Professor of Mathematics and Natural Philosophy at Sydney University, in 1857. Gurney won repute as a fine teacher. He was elected as a member of the University senate in 1894-96 and as ex officio as dean of the Faculty of Arts in 1894-96. In 1879, he married Joan Cornelia, a widow. The Gurneys were also active in the developing the general activities of the University, notably helping in the promotion of the Musical Society and the established of the Women's College.⁴

Although some of the grants in present-day Seaforth were occupied, there was little real development in the area at this time. The Spit provided an effective barrier to settlement. The first regular punt service, which was a private service, did not begin until the 1850s and, even then, was unreliable. The punt operator, Peter Ellery, built a rough road from the punt landing at Seaforth to the top of the escarpment in the 1850s. Hopes for improved transport were raised when the government gazetted the first road from Manly to The Spit (Middle

¹ Original grant cited on Certificate of Title Volume 4402 Folio 195. NSW LPI.

² Original grant cited on Certificate of Title Volume 4909 Folio 69. NSW LPI.

³ For further information see: Richard Refshauge, 'Alleyne, H.G. (1815-1882)', in Douglas Pike (gen.ed), *Australian Dictionary of Biography, Volume 1*, Victoria, Melbourne University Press, 1968.

⁴ For further information see: I.S. Turner, 'Gurney, Theodore Thomas' in Douglas Pike (gen.ed), *Australian Dictionary of Biography, Volume 4*, Victoria, Melbourne University Press, 1972. Date of sale determined with reference to information contained within Kubanyi Architects, *Heritage Assessment and Statement of Heritage Impact for Dalwood, 21 Dalwood Avenue, Seaforth, NSW 2092*, p. 3. Unpublished report prepared for NSW Health dated 11 April, 2014.

Harbour Road, later Sydney Road). During the 1880s, the government resumed control of the punt, providing a more reliable service.

2.2 Clavering

Professor Gurney built what is now Dalwood House on his land in present-day Seaforth in 1878-9, close to the time of his marriage, and called the estate 'Clavering' after the village in Essex where his father had been vicar. Clavering was isolated and only accessible via a bush track from Manly, which, while growing, was small and contained. The number of listings in *John Sands' Sydney and Directories* for the Manly area increased from 70 in 1870, to 80 in 1875 and 166 in 1880.

The Municipality of Manly was declared in 1877, bringing with it the hope that better amenities would follow. Development during the late nineteenth century was never even across the municipality; there were comparatively few buildings beyond the village centre and the surrounding high ground. Despite the development that occurred in the 1880s, Manly enjoyed a comparatively low population density when compared to other Sydney Municipalities. Manly had only 0.68 people per acre; Paddington, by contrast, had 26.38 people per acre and Darlinghurst, 44.11 people per acre. Seaforth was among those areas that remained little disturbed. The area did, however, have a church (St. Paul's Anglican Church, 1875) and public school (originally Balgowlah Public School, established 1881).

The Gurneys principally resided in Sydney, using Clavering as a weekend retreat. Gurney, while a popular and energetic teacher failed to impress upon his superiors his early promise in research and publication. In 1902, Gurney retired from Sydney University and returned to England, where he died in 1918. Gurney Crescent in Seaforth, Sydney and Gurney Way, Cambridge (UK) are named in his memory. Figure 4 reproduces an advertisement from *The Sydney Morning Herald* in this year in which Clavering is offered for lease. It provides a rare, if brief, description of the site at this time. Note the stable/coach house, likely the building now referred to as 'the Loft.'

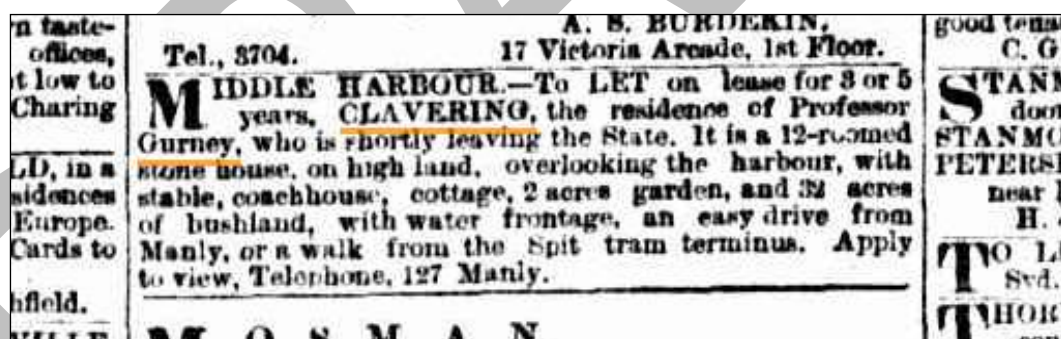


Figure 4: Advertisement for *Clavering*, 1902.

The Sydney Morning Herald, 12 July, 1902.

Despite the above advertisement, Clavering remained unoccupied for many years.

2.3 The Seaforth Estate and the Early Growth of Seaforth

Soon after the Gurneys returned to England, the first subdivisions were carried out in the present-day Seaforth area, thereby laying the foundations for the present-day suburb. During the early 1900s, Henry Halloran acquired a number of the early Seaforth grants. When he subdivided his land into 350 lots and offered it for sale in 1906, he called it the Seaforth Estate, in recognition of the fine views obtained from the estate, thereby giving the area its lasting name. Halloran put in place a system of covenants to make Seaforth a 'leading suburb and a safe place to erect a good residence.' Although some lots would take years to sell because of the area's isolation, Halloran purchased additional land and offered further lots for sale in 1909 (Bluff Estate).

The Seaforth and Bluff Estates were offered for sale during a period of expansion across Manly. During the first decade of the twentieth century Manly's population more than doubled; from 5,035 people in 1901 to 10,465 people in 1911. In 1909, 185 new buildings were constructed; in 1911 and 1921, 125 and 147 buildings were constructed respectively.⁵ The population density increased accordingly, to 4.3 people per acre by 1911. By 1921, the population exceeded 18,500 people.⁶

The above rate of growth was not isolated to Manly; suburbs across Sydney boomed during this period as the population increased by almost 30%.⁷ There are a number of reasons why Manly experienced a population boom at this time. One of the most significant contributory factors to Manly's growth was improved public transport service into and out of the area. Wharf facilities were upgraded and faster steamers launched from 1900; from 1906, a half hourly service ran from Manly to the Circular Quay. From January 1909, an alternative to the ferry was offered as a result of the opening of The Spit to Manly tramway. Growth is also attributable to the relaxation of the strict daytime bathing laws of the Victorian period and the advent of surfing. Manly Council appointed the first professional lifeguard in Australia in 1907. All these attributes would later make Claverling the ideal place for a rest home for women and children.

2.4 Claverling after Gurney's Death

Claverling appear to have been inherited by members of Gurney's family after his death in 1918. The first Certificate of Title issued for Claverling is dated 29 December, 1921. The owners, as joint tenants, at this time were Henry Gurney Brewer (of Seaford, Sussex, England, school proprietor) and Grace Theophila Brewer (of Eastborn, Sussex, spinster).⁸ Figure 5 shows the boundaries of Claverling at this time. The property fronted Clontarf Street. Note: The lots on the northern boundary, part of D.P. 620. These lots form part of E. Vickery's grant. Lots in this subdivision would later become part of the Dalwood Home Site (not investigated for the purposes of this statement).

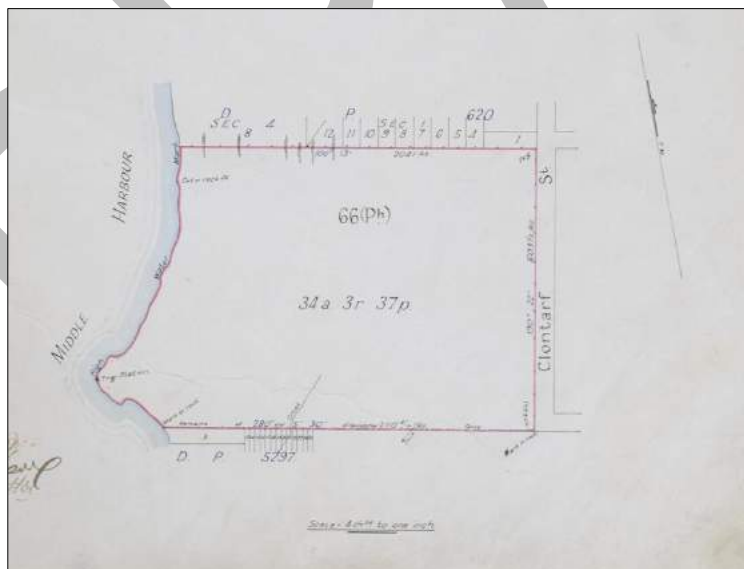


Figure 5:
The boundaries of
Claverling in 1921.
C.T. Volume 3266-162
dated 29 December, 1921.
NSW LPI.

⁵ Pauline Curby, *Seven Miles From Sydney: A History of Manly*, NSW, Manly Council, 2001, p.178.

⁶ Kate Blackmore and Associated Consultants, *Heritage Study: Municipality of Manly: Volume 2*, p.106. Unpublished report prepared for Manly Council and the Department of Environment and Planning, April, 1986.

⁷ Pauline Curby, *op.cit.*, p.178.

⁸ Certificate of Title Volume 3266 Folio 162. NSW LPI.

The Brewers did not take long to sell their Australian inheritance. In January 1922, they sold Clavering to the Sydney Supply Company, of which Albert Edwin Dalwood (1863-1948) was Managing Director, for £3,750.⁹

2.5 Albert Edwin Dalwood and the Loch Lomond Estate

Dalwood, born in England, arrived in Australia at the age of 20, becoming is successful land and property owner. Dalwood also held directorships in a number of companies. Dalwood subdivided much of his Seaforth estate in 1922, advertising it under the name of the Loch Lomond Estate or Gurney's Choice Estate. The main auctions occurred after February 1922. It would appear, however, that Dalwood had tried to sell at least some of the land prior to this time. On 11 January 1922, the *Sun* noted the upcoming sale of the Loch Lomond Estate noting that the 'greater number' of the 26 harbour side allotments had been offered collectively 'for some time.'¹⁰ The 'vast panorama of glorious middle harbour scenery' offered by the Estate were highlighted in advertisements, as was the growing suburbanisation of the area, which, in Dalwood's opinion, meant rising property values. One advertisement, in the *Sun* 9 January, 1922 stated:

'Overlooking Sydney's Trossachs
The Loch Lomond Estate
Balgowlah
All the delightful Middle Harbour Scenery,
And vast panoramas of nature's consummate beauty
Lie open to the view from this gorgeous choice estate.
Lying in the path of necessitous suburban expansion....
Attractive Water Frontages,
Undulating slopes,
Shady retreats.
All alluring portion of nature's lavish beauty offered to the home builder on
Easy terms.'¹¹

Clavering stood on Lot 87 of Dalwood's subdivision, an area of 3 acres, 0 roods and 17 ¼ perches of land. Although Dalwood retained ownership this land, he never occupied it. Lots from the Estate were slow to sell. Sales continued into the Post World War II era.

2.6 The Opening of Dalwood Rest Home

In 1927, Dalwood leased his 'house on the hill' to the Food for Babies Fund for use as a holiday home for children and a rest home for mothers for a nominal rent (Figures 6 and 7). The Fund, which appears to have been established in the mid 1920s, was one of many organisations established during the late nineteenth and early twentieth centuries concerned with infant and child welfare.

⁹ Transfer attached to Certificate of Title Volume 3266 Folio 162. NSW LPI.

¹⁰ 'Real Estate News,' *The Sun*, 11 January, 1922, p.9.

¹¹ 'Overlooking Sydney's Trassachs, The Loch Lomond Estate, Balgowlah,' *The Sun*, 8 January, 1922, p.9.

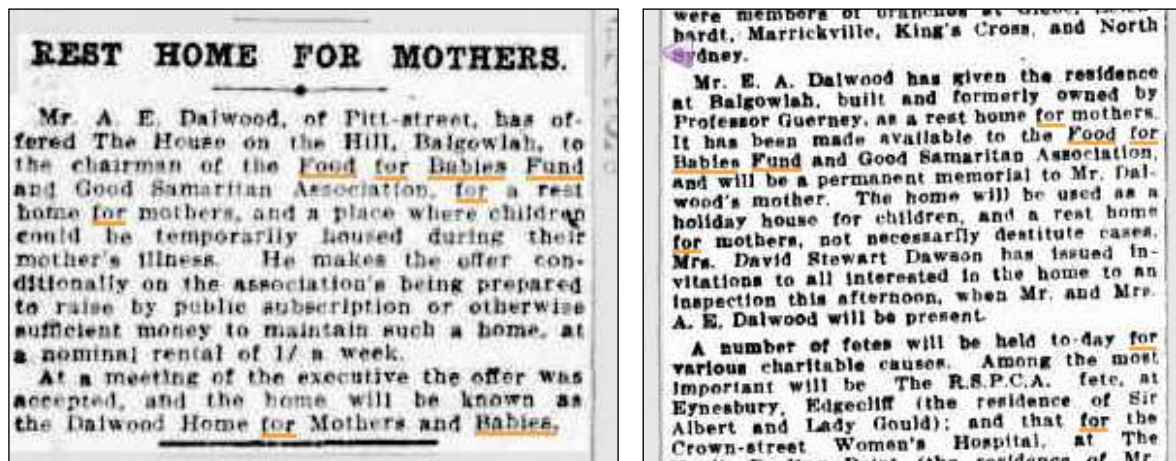


Figure 6: Dalwood's gift.

The Sydney Morning Herald, 5 December, 1927; 10 December, 1927.

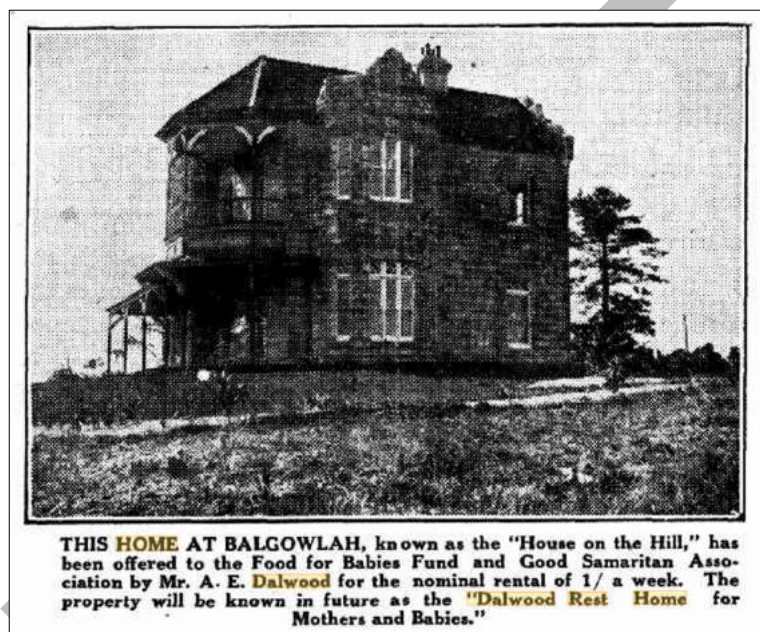


Figure 7:

The House on the Hill. This is the earliest photograph of the dwelling found to date.

The Sydney Morning Herald, 2 December, 1927.

During the latter part of the nineteenth century, there was increasing concern about the high rate of infant mortality in New South Wales. Of every 1,000 children born during the 1880s, 100 died before their first birthday and 100 more before the age of five.¹² Infant mortality rates were considerably higher in Sydney than in country areas and would remain so until the late 1920s. Dr. Armstrong, Medical Officer for Health in the Sydney Metropolitan Health District in 1860/1870 and later instrumental in the early movement for infant welfare, concluded:

‘...the extraordinarily rapid urbanisation of Sydney which was taking place during those years, the absence of almost any sanitary control, either central or local, bad housing, an inferior milk supply, bad sewerage, innumerable filthy cesspits, inferior drinking water, and an increase in the practice of feeding infants artificially instead of at the human breast.’¹³

¹² Statistics cited in Karen O'Connor (comp.), *Our Babies: The State's best asset*, NSW, Department of Health, undated, p.11.

¹³ Cited in Joyce Carr, 'Fifty Years of Service: The Royal Society for the Welfare of Mothers and Their Babies', *The Australian Nurses' Journal*, August 1968, p.176.

Rising concern over infant mortality rates was matched by an equal concern over a decline in the birth rate; babies were important commodities to a nation told to 'populate or perish.' Coupled with these issues was an important ideological shift with regard to welfare and charity. No longer were social ills simply considered to be the result of 'God's will', there was a feeling that some sort of social transformation could be affected through positive human action. As a result, public concern for the welfare of infants developed beyond the care of the deprived or disadvantage child- the traditional focus of concern- towards the causes of infant mortality and the services required to reduce it.¹⁴

A number of bodies were engaged in the area of infant welfare in the late nineteenth and early twentieth century Sydney. Other examples include the Benevolent Society, who opened the Royal Hospital for Women in Paddington in 1905 and the Alice Rawson School for Mothers (1908), an organisation that sought to educate mothers in the welfare of their children. The work of these often-voluntary organisations was aided by government initiatives, such as the *Public Health Act* (1896) and the individual public health initiatives of local councils.

The movement to coordinate infant welfare services in New South Wales gathered momentum during immediate Post World War I period. The war had stirred the Australian consciousness:

'Australia can produce the finest specimens of humanity in the world. That was proved on the battlefields of Europe.'¹⁵

'During the war (WWI) we lost 55,000 gallant young men, a cause for national mourning worthy of remembrance for generations to come. During the same period, we lost 47,000 young babies for reasons which were clearly the concern of the Government.'¹⁶

In the words of the Food for Babies Fund:

'The nation marches forward in the footsteps of little children.'¹⁷

Little information about the Food for Babies Fund has been located. In a booklet on Dalwood, the following information is provided under the heading 'How it Began':

'It took for its are the mothers and children of desolate families in the City areas and worked with the object or making them healthier and happier.....

District nurses discovered deserving cases, distributing clothes, food and blankets among them as they were needed. New babies and their mothers were the Fund's especial care.

These needs milk and milk foods as well as warm clothes and correct care. The nurses advised and helped the mothers and arranged for the necessary supply of milk, which was paid for by the Committee personally.

Families were supplied for a month, or two months, and often longer. Skimmed milks in tins is the only kind lots of families in the slums can

¹⁴ Karen O'Connor (comp.), *op cit.*, undated, pp. 10 onwards.

¹⁵ Comment of the president of the Society, Mr. Innes Noads, at the opening of the first *Tresillian* as reported in 'Training School for Infant Welfare: First Under the Karitane Sydney in Australia', *The Australasian Nurses' Journal*, 15 October, 1921, p.349.

¹⁶ Joyce Carr, *op cit.*, August 1968, p.176.

¹⁷ *Dalwood Rest Home: The House on the Hill*, Balgowlah, Dalwood Rest Home, 1929(?), p.3.

afford.....The milk for the Food for Babies Fund helped many a mother back to health and gave many a new little Australian a fair start in life....

THE FOUR SERVICES:

1. A rest for tired mothers.
2. A chance for mothers with new babies to recuperate.
3. A temporary home for children whose mothers are in hospital.
4. A holiday for needy children who never have any holidays.¹⁸

Dalwood House or Dalwood Rest Home was officially opened by the Minister of Health, Dr. Arthur in February 1928. The formal transfer of the title to George Fitzpatrick, director, Albert Edwin Dalwood, gentleman, Lily Eales, widow, and Elsie Myerson (trustees) occurred on 28 March, 1930.¹⁹ The Trustees also acquired additional land fronting Gurney Crescent.²⁰ The titles were later transferred into the name of the Dalwood Health Home (or the Food for Babies Fund) in January 1947. Refer to Figures 8 and 9.

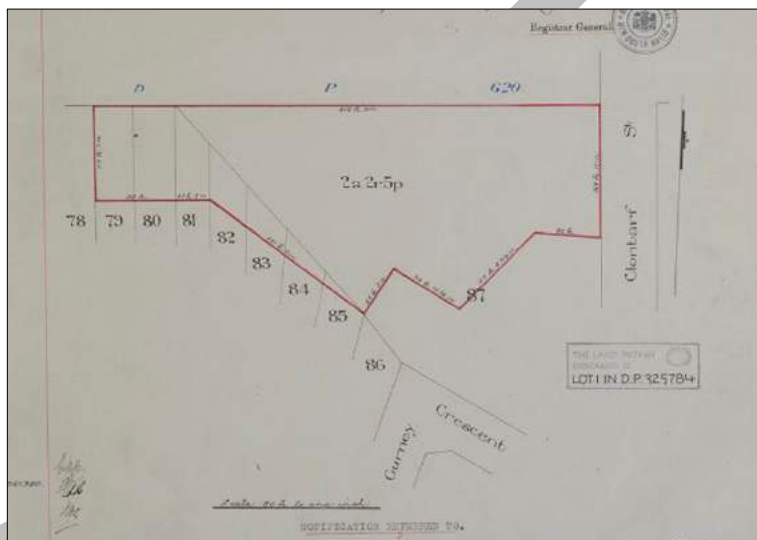


Figure 8:
Land vested in the Trustees and later the Food for Babies Fund.
Certificate of Title Volume 4402 Folio 195. Dated 13 May, 1930.
NSW LPI.

¹⁸ 'The House on the Hill,' separate, small, undated booklet attached to the back of *Dalwood Rest Home: The House on the Hill*, Balgowlah, Dalwood Rest Home, 1929(?).

¹⁹ Transfers attached to Certificate of Title Volume 3266 Folio 162. NSW LPI.

²⁰ Certificate of Title Volume 4399 Folio 13. NSW LPI.

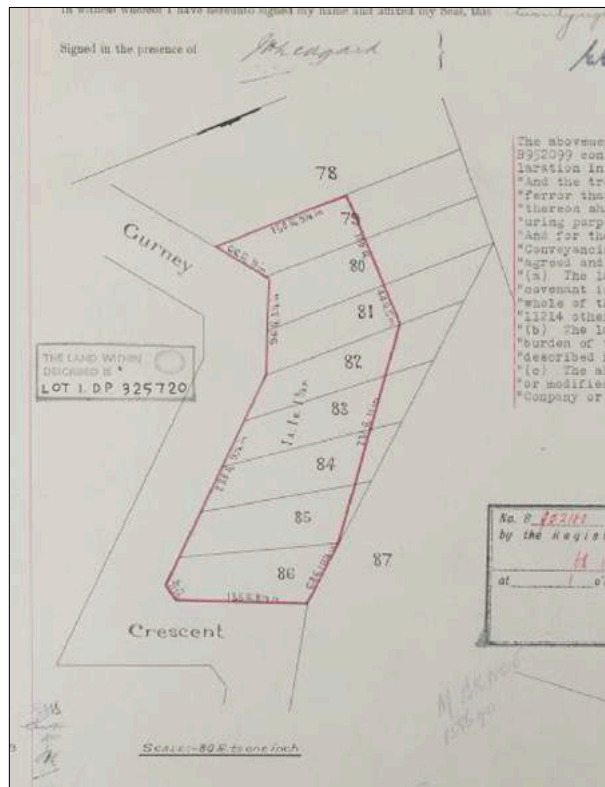


Figure 9:
Land vested in the Trustees and later
the Food for Babies Fund.
 Certificate of Title Volume 4399 Folio 13.
 Dated 28 April, 1930.
 NSW LPI.

The opening of Dalwood Rest Home was reported in the major Sydney newspapers, such as *The Sydney Morning Herald*, as well as major regional papers throughout the state, such as the *Barrier Miner* in Broken Hill (Figure 9). In their annual meeting for the year, the Food for Babies Fund reported that 60 mothers and 300 children had enjoyed a holiday at Dalwood Rest Home during the year.

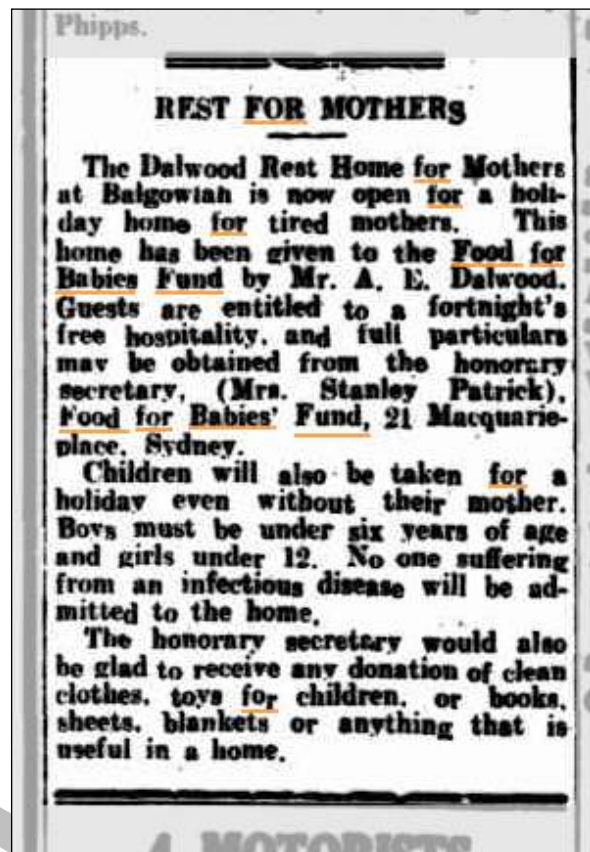
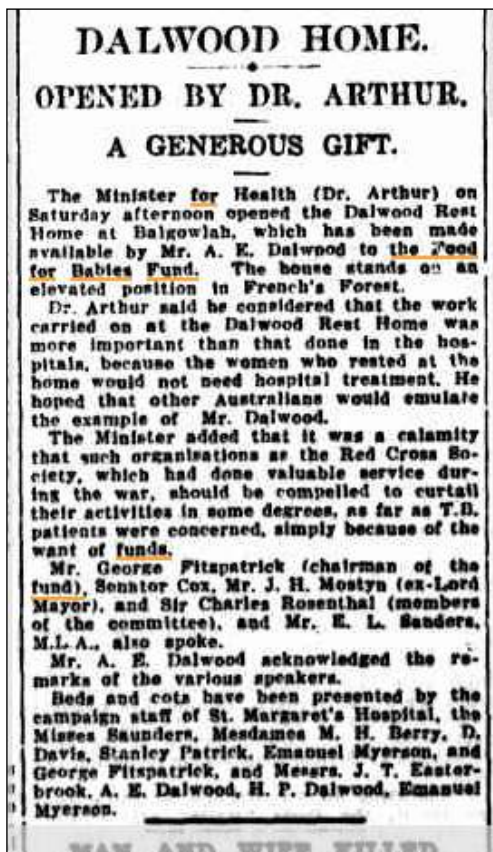


Figure 9: Opening of Dalwood Home

The Sydney Morning Herald, 20 February, 1928; *The Barrier Miner*, 2 April, 1928.

Figure 10 provides another early photograph of Dalwood Rest Home from the street, prior to the addition of the stone entrance porch that now dominates the north eastern elevation of the building.

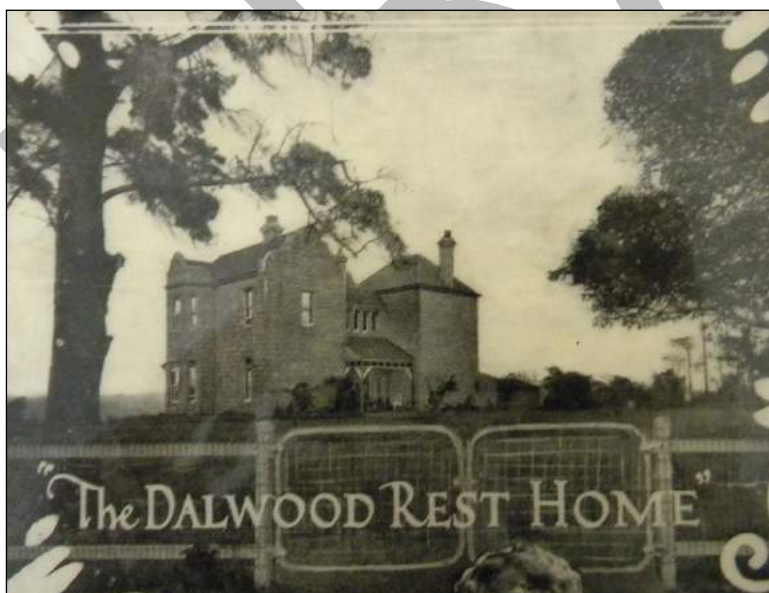


Figure 10:

Dalwood Rest Home.

Framed photograph at Dalwood Homes. Photographed by W.P.Heritage.

By the time that Dalwood Rest Home was opened, Manly was beginning to expand in earnest. The population increased as new subdivisions were opened in Seaforth, Fairlight and Balgowlah. In 1911 the population stood at 10,465 people, who had mainly been confined to the central part of the municipality. By 1921, this had increased to 18,507 people and by

1924, when the first Spit Bridge opened, to 23,160 people. Within Seaforth, there was sufficient development to warrant the establishment of a shopping centre in the early 1920s; business sites were auctioned opposite the public school and along Sydney Road, forming what remains the heart of the Seaforth Shopping Centre.

Dalwood Rest Home underwent refurbishment and addition in 1930, the first of many such works (Figure 10).

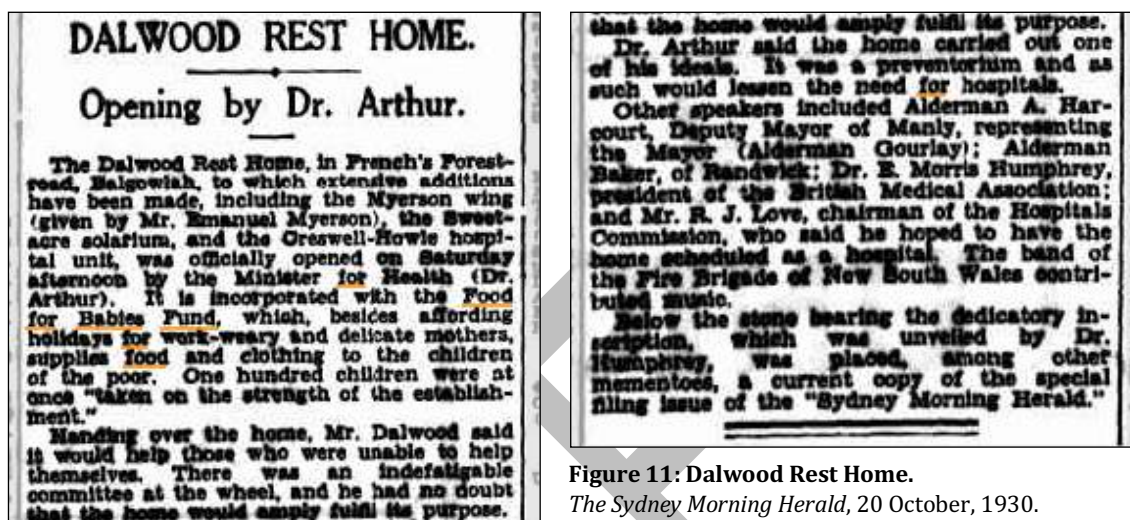


Figure 11: Dalwood Rest Home.
The Sydney Morning Herald, 20 October, 1930.

In 1931, Dalwood was registered as a Public Hospital under the Second Schedule of the *Hospitals Act* and was expanded to support families who were unable to meet the needs of children in their own home. The Home was managed by an independent Community Board and was fully funded via charitable support. Prominent life governors include Sir Donald Bradman, Sir Charles Kingsford-Smith and Gladys Moncrief. One of the most popular fund raising activities was the annual Dalwood Dog Show, begun in 1932 and continued to this day.

Several years after he donated his property, Dalwood, although once reputed to be among the wealthiest men in the state, filed for bankruptcy (1932), placing his affairs in the hands of his creditors.

2.7 The Growth of Dalwood Rest Home

The site was expanded in January 1938 when Lots 4A- 7A D.P.17157 fronting Gurney Crescent were purchased by George Fitzpatrick, Dyson Austen and Elise Meyerson.²¹ These lots (and others) had originally been purchased from the Loch Lomond subdivision by Minnie Louisa Iredale, wife of Leslie Peel Iredale, a Sydney accountant on 2 September, 1931 and later resumed by the Sydney Supply Company Pty Ltd as mortgagee exercising their power of sale.²² Refer to Figure 12. The title to this land was transferred to the Dalwood Health Home (The Food for Babies Fund) in 1947.

²¹ Transfer attached to Certificate of Title Volume 4516 Folio 174. NSW LPI.

²² Transfer attached to Certificate of Title Volume 3266 Folio 162. NSW LPI.

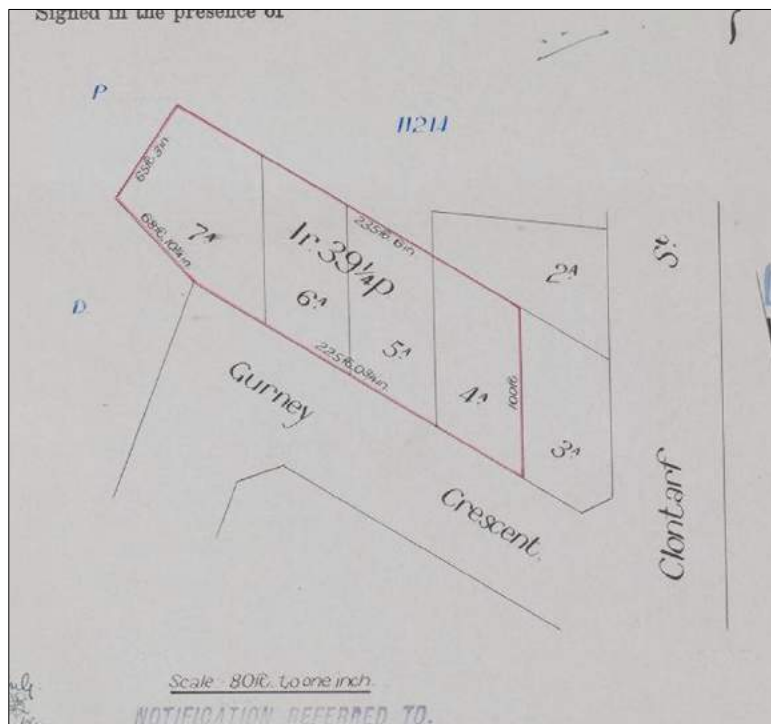


Figure 12:
Land purchased in 1938.
Plan attached to Certificate
of Title Volume 4909 Folio
69. Dated 15 February,
1938.

In addition to expanding the boundaries of the site, the original stone buildings were altered and new buildings added. New structures erected on the site after 1930 and prior to World War II include:

- Opening of two new buildings/structures: the Nurses Home (donated by the Myerson family) and the playroom (donated by the Fitzpatrick family).²³ Both since demolished.
- Sandstone entrance gates erected on Dalwood Avenue (1934).

Figures 12 to 19 provide a selection of early photographs of Dalwood before and during World War II.

²³ 'For Women. Dalwood Rest Home. New Quarters Opened,' *The Sydney Morning Herald*, 16 December, 1929, p.4.



Figure 13:
Dalwood House, c.1929.
Dalwood Rest Home: The House on the Hill, 1929(?).



Figure 14:
Restoration Work at Dalwood, 1928-1931.
 Sam Hood, undated. State Library of NSW.



Figure 15:
Site Survey dated 1934.
 The buildings are not labelled in this survey. The building south west of Dalwood House is the Meyerson Wing (see Figure 17 below). One of the other two buildings is likely to be the playroom (see Figure 18). The other may have been dairy. When and where the dairy were established (and if on this site) is not clear (see Figure 19).

Original source Department of Commerce. Cited in the Judith Kubanyi Heritage Report 2014.



Figure 16:
Sam Hood, Dalwood Home at Seaforth, 1930s.
 Showing the later additions made by the Fund to the original house. State Library of NSW.



Figure 17:
Sam Hood, Children at Play at Dalwood Home, 1941.
 State Library of NSW.

This photograph shows the Meyerson Wing to the south west of Dalwood House, later demolished.



Figure 18:
Fitzgerald Playroom,
undated. Later
demolished.
Manly Library.



Figure 19:
Dalwood Home's Dairy,
undated.
Manly Library.
Where the dairy was located
is not known.

Figure 20 provides an aerial photograph over the site from 1943 showing Dalwood House, a stone outbuilding (now known as the Loft Building) and the additions identified above.



Figure 20: Aerial photograph over Dalwood in 1943. The thin yellow lines show the existing lot boundaries; the thick yellow line shows the existing site boundary.

SIX Maps.

2.8 The Site After World War II

Manly continued to grow during the Post World War II period. In 1947, there were 33,775 people within Manly, nearly seven times the number than had been living in the area in 1901. By 1971, this increased to 39,260 people.

At Dalwood, a new 30 bed dormitory was built to house girls (1960) and further alterations were made to the original building, including kitchen facilities. Around this time, the original sheet metal roof on the main house was replaced with tile. By 1966, there were, on average, 56 residents on site. Included among the new works was the addition of the Games Wing to Dalwood House (1966) and a new services block to house children and staff dining rooms, staff amenities, laundry and sewing facilities, workshop and plant rooms (1976).

The types of programmes offered on the site expanded. The Day Care Early Intervention Programme, for example, was added in 1978 to meet the education and developmental needs of children living at home who were under school age; and in 1983, the Byrnes family donated funds for the establishment of a residential cottage for disadvantaged children on the property. Building work continued on site, including the construction of a playing field for organised sports and other activities; a new Day Care Classroom, added to the existing Day Care Centre (1984); a wading pool built close by the Day Care Centre (1985); and the levelling of an area adjoining Gurney Crescent for future development.

The site ceased to offer residential care in 1989. The legacy of the Dalwood Trust was continued by the Dalwood Day Care Early Intervention Programme. The focus was now on caring for vulnerable children and families and providing support for families to care for children in their own homes, together with a renewed emphasis on early learning and development prior to school entry.

In 1991, responsibility for the site passed to the Northern Sydney Health Service following amendments to the *Hospitals Act*. New services were moved to the site, including the Palm Avenue School. The Dalwood Auxiliary funded the construction of a new Family Care Centre

building in the mid 1990s. The President of the Dalwood Dog Show, Mr. Bill Spilstead, donated funds for the erection of a purpose built day care unit in 1994, which was named the Dalwood Spilstead Centre in this honour.

In 2009 the Byrnes Building was completed. In 2010, the western verandah of the stone building was demolished due to its poor condition. It has since been reconstructed. The tile roof was replaced with new corrugated steel sheeting and the southern external timber stair (c.1980s) was replaced modern steel stair (c.2011).

In 2014-16, the former girls' dormitory (1950s) and later alterations and additions) and the games room (c.1960s) were demolished and replaced with a large new Child and Family Services Building. The staff car park to the north of the family centre was enlarged and landscaping works carried out.

3.0 SITE ASSESSMENT

3.1 The Site

3.1.1 General Description of the Overall Site

For the purposes of the following, refer to Figure 21, an aerial photograph over the Dalwood Home Site.



Figure 21:
Aerial photograph over the Dalwood Home Site. The boundaries are outlined in red. The buildings are numbered. This should be read in conjunction with Figure 3, which shows the site contours. The same building numbers as provided by Figure 3 have been used.

SIX Maps; annotations by WP Heritage.

Building Key:

- A. Byrnes Building (c.2009).
- B. Spilstead Centre (c.1994).
- C. Dalwood House (c.1878).
- D. Family Care Centre (c.1995).
- E. Services Block (c.1976).
- F. The Loft (c.1880s).
- G. Child and Family Services Building (c.2014-2016).
- H. Shed (c.2009).

It is not the purpose of this HIS to provide a detailed site description of the site as a whole. The following briefly identifies the principal site characteristics. The site is approximately 37,155.5 square metres (3.72 ha) in size.²⁴ As demonstrated by Figures 2 and 3 in Section 1.7, the site is irregular in shape with frontages to Dalwood Avenue/Clontaff Street, Callicoma Road and Gurney Crescent. The site is entered and exited from separate driveways opening onto Dalwood Avenue/Clontaff Street. There is a third entrance off Callicoma Road.

Most of the buildings on the site are located on the largest of the lots comprising the site, being Lot 1 D.P. 325784, and on Lots 1-5 D.P. 620, on the corner of Dalwood Avenue/Clontaff Street and Callicoma Road. These lots are level or have a gentle fall.

To the east and north east of Dalwood House (Building C in Figure 20), there is a bitumen surfaced carpark and driveways, with an irregularly shaped grassy island. There are widely spaced, large, mature trees along the eastern boundary, including a large fig tree and a pine tree. The northern most of the entrances along this boundary is marked by a substantial stone pillar/war with memorial clock and the wording 'Dalwood Homes.'

Refer to Figures 22 to 24.



Figure 22:
Entrance into the site from Dalwood Avenue/Clontaff Street. The stonework was erected in 1934.



Figure 23:
Mature trees along the eastern boundary, including a fig tree and a pine tree.

²⁴ By land title.



Figure 24:
Island in the driveway.

The bitumen driveway continues around the south eastern corner of Dalwood House, where there is a group of mature plantings, including several pine trees. There is lawn and a curving pathway on the north western side of Dalwood House, above a fenced, high, retaining wall. The pathway continues along the front of the services building towards the loft. Refer to Figures 25 and 26.



Figure 25:
Mature trees and other plantings to the south east of Dalwood House.



Figure 26:
Pathway running along the Service Building, with the Loft and Family Service Centre in the Distance.

The areas immediately around the Loft (being Building B in Figure 20) and the Family Care Centre (Building D in Figure 20) comprise lawn and simple, informal, landscaping.

To the north west of Building G, being the recently constructed Child and Family Services Building, there is a carpark and open areas of lawn. The northern 'fringe' of the lots in this area fall steeply to Callicoma Road. The slope to the road is rocky and well vegetated.

Refer to Figures 27 to 29.



Figure 27:
Carpark to the north west of the new Child and Family Services Building.



Figure 28:
Open lawn fringed with bushland running parallel to Callicoma Road. Looking west from the car park above towards the densely vegetated lots comprising the north western corner of the site.



Figure 29:
Simple landscaping around the Loft, with the carpark shown in Figure 27 above.

The lots in the north western and south western most corner of the site fall more sharply north west and south west. These lots are rocky and heavily vegetated.

Refer to Figures 30 and 31.



Figure 30:
Looking into the north western corner of the site from Callicoma Road.



Figure 31:
Looking up Gurney Crescent to densely vegetated south western corner of the site.

The proposed re-zoning does not involve these areas of the site.

3.1.2 The Area of Proposed Works

Below Dalwood House, the Services Block and the Loft (see Buildings C, E and F in Figure 20 above), and within the large centre lot (Lot D.P. 325784), there is a high rock face/retaining wall. This rock face/wall decreases in height to the west. The area immediately below the wall and flowing into the lots in the south eastern corner of the site, which it is proposed to rezone for low density residential development (Lots 4A, 5A, 6A and 7A D.P. 17157; part of Lot 1 D.P. 325720 and part of Lot 1 D.P. 325784) has a more gentle fall and is partially cleared. The area below the wall which is it proposed to rezone Environmental Living slopes more steeply and is well vegetated. There are rocky outcrops throughout these lots. With the exception of the retaining wall, there are no structures in this area. Given the nature of the terrain, it is likely that the rock face and level area are the result of human modification. Is this where the rock for the Victorian period buildings on the site was quarried? No historical references have been located to indicate what, if anything, this part of the site has been used for.

Figures 32 to 37 illustrate this area.



Figure 32:
The rock
face/retain-
ing wall
immediately
below
Dalwood
House.



Figure 33:
The rock
face/retaining
wall below the
Services
Building.



Figure 34: Looking west across the area it is proposed to rezone to the R2 Low Density Residential, with the rockface/retaining wall on the left hand side of the photograph and the Loft in the distance.



Figure 35: Looking east across the area it is proposed to rezone R2 Low Density Residential, with No. 2 Gurney Crescent and No. 17 Dalwood Avenue visible in the distance.



Figure 36:
Looking north west into the area from near the corner of Dalwood Avenue and Gurney Crescent.



Figure 37:
Further west along Gurney Crescent. Only the very top of the roof of Dalwood House is visible from this point.

3.2 The Buildings

It is not the purpose of this statement provide a detailed description of the buildings, and other improvements, on the site, given that no works are proposed to them.

The table below identifies the buildings on the site. Refer back to Figures 21 for the location of each of the following buildings.

	Building	Constructed	Description
A	Byrnes Building	c.2009	A single storey brick building.
B	Splistead Centre	c.1994	A single storey two tone brick building with tile roof.
C	Dalwood House	c.1878	Two storey sandstone Victorian Gothic style house, with parapeted entrance with Gothic pointed arch. The roof is hipped and gabled and clad in corrugated metal. The

	Building	Constructed	Description
			principal entrance is located within the north western elevation. The building, however, was clearly built to address the views of Middle Harbour to the south west.
D	Family Care Centre	c.1995	A single storey brick building with tile roof.
E	Services Building	c.1976	Two storey brick building with pitched, tiled, roof and aluminium framed doors and windows. The roof extends on the southern side over a concrete verandah.
F	Loft Building	c.1880s	A two storey sandstone building that may have been erected in conjunction with the main house. The roof is pitched, with gable ends, and clad in Colorbond. .
G	Child and Family Services Building	c.2014-2016	Substantial two storey brick building with tiled roof.
H	Shed	c.2009	Metal clad storage shed.

Figures 38 to 48 illustrate each of the above buildings, with a greater focus on Dalwood House and the Loft, being the two most significant buildings on the site. Note: the Byrnes Building was not photographed because the associated playground was in use. It is similar in style to the Family Care Centre.



Figure 38:
South western elevation of Dalwood House. The corner verandah was recently reconstructed using physical and documentary evidence.



Figure 39:
North eastern
elevation of Dalwood
House. This
elevation has been
significantly altered,
most notably in the
1930s.



Figure 40:
North western
elevation of Dalwood
House.



Figure 41:
South eastern elevation of Dalwood House. The stair is a recent addition and replaced an earlier, timber, stair.



Figure 42:
Southern and eastern elevations of the Loft.



Figure 43:
Northern elevation of
the Loft.



Figure 44:
Spilstead Centre
(southern side). This
building is similar in
style to the family care
centre.



Figure 45:
Family Care Centre.



Figure 46:
South western elevation
of the Services Building.



Figure 47:
North eastern elevation
of the Services Building,
with Dalwood House on
the left hand side.



Figure 48:
Looking south west
towards the new Child
and Family Services
Building.

3.3 The Surrounding Area

For the following, refer to the aerial photograph, Figure 49.

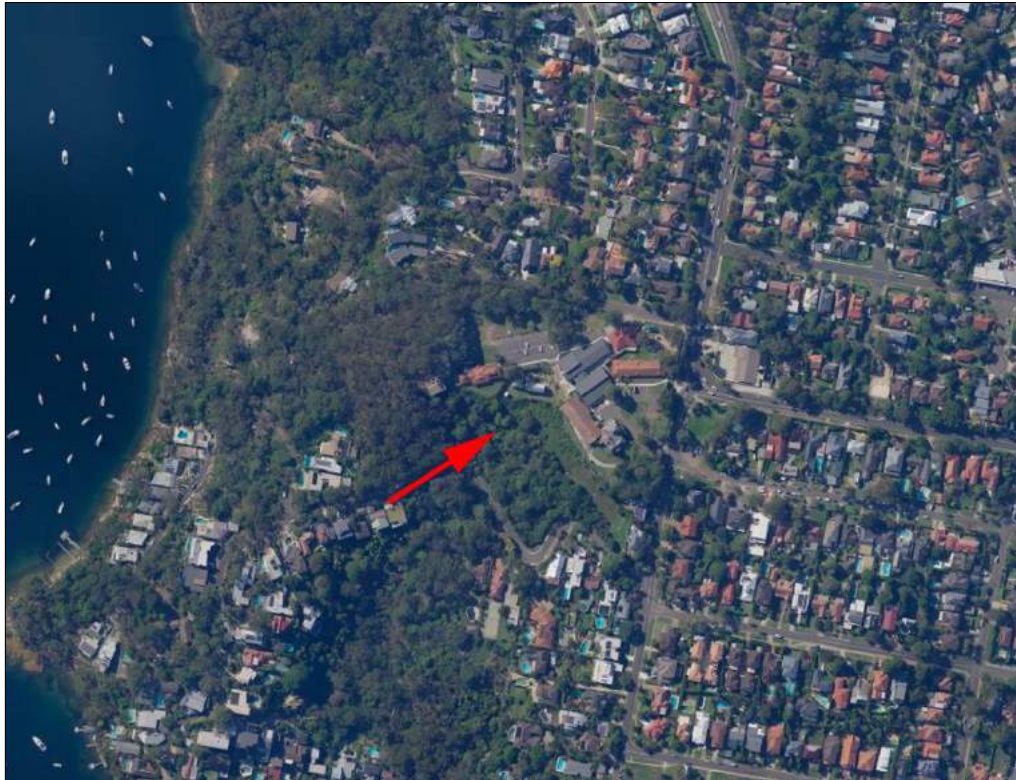


Figure 49: Dalwood's Setting.
SIX Maps; annotation by WP Heritage.

3.3.1 Planning Context

The *Manly LEP 2013* provides for a number of different zonings in the area surrounding the subject site. Refer to Figure 50. There are two zonings across the subject site: special uses (health services facility) and environmental conservation (E2). To the north and east of the site, the majority of the land within the immediate area is zoned for low density use (R2). To the north west, there is a pocket of land zoned environmental management (E3). To the west and south lies areas zoned for low density (R2) and public recreation (RE1). A height limit of 8.5m applies to areas immediately around the site.

The *Manly LEP 2013* Land Use Table outlines the objectives of these zones are as follows:

Low Residential Density (R2):

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

Environmental Management (E2):

- To protect, manage and restore areas of high ecological, scientific, cultural or aesthetic values.
- To prevent development that could destroy, damage or otherwise have an adverse effect on those values.

Environmental Management (E3):

- To protect, manage and restore areas with special ecological, scientific, cultural or aesthetic values.
- To provide for a limited range of development that does not have an adverse effect on those values.
- To protect tree canopies and provide for low impact residential uses that does not dominate the natural scenic qualities of the foreshore.
- To ensure that development does not negatively impact on nearby foreshores, significant geological features and bushland, including loss of natural vegetation.
- To encourage revegetation and rehabilitation of the immediate foreshore, where appropriate, and minimise the impact of hard surfaces and associated pollutants in stormwater runoff on the ecological characteristics of the locality, including water quality.
- To ensure that the height and bulk of any proposed buildings or structures have regard to existing vegetation, topography and surrounding land uses.

Public Recreation (RE1):

- To enable land to be used for public open space or recreational purposes.
- To provide a range of recreational settings and activities and compatible land uses.
- To protect and enhance the natural environment for recreational purposes.
- To protect, manage and restore areas visually exposed to the waters of Middle Harbour, North Harbour, Burnt Bridge Creek and the Pacific Ocean.
- To ensure that the height and bulk of any proposed buildings or structures have regard to existing vegetation, topography and surrounding land uses.

The planning report that accompanies this application should be referred to for further detail.

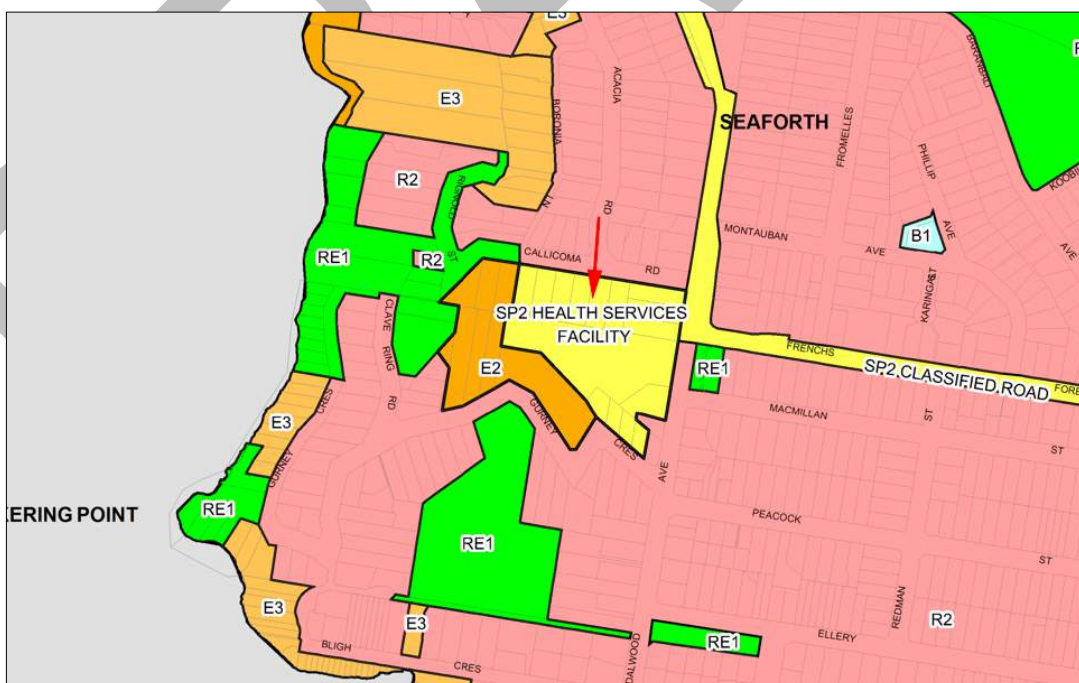


Figure 50: Zoning within Dalwood's Setting.
SIX Maps; annotation by WP Heritage.

3.3.2 Description

The above zonings result in a setting of low density housing, with pockets of bushland which Council controls protect.

To the east of the site, across Dalwood Avenue, to the north across Callicoma Road and to the south, across Gurney Crescent, the area is characterised by a regular street pattern and regular lot sizes, with allowances for topography. These areas are characterised by one and two storey dwellings set within garden surrounds. Dwellings are predominately brick or rendered brick and tiled roofs. While there are scattered interwar period dwellings, most date from after World War II.

To the west and south west the terrain falls more steeply towards the water. As shown by Figure 49, there are substantial patches of bushland within the areas to the west of the site. Dwellings in these areas have views across Middle Harbour.

Dalwood is located within a residential area. To the east of the site, across Dalwood Avenue, to the north across Callicoma Road and to the south, across Gurney Crescent, the area is characterised by a regular street pattern and regular lot sizes, with allowances for topography. These areas are characterised by one and two storey dwellings set within garden surrounds. There is a childcare centre opposite the main entrance into the site, on the other side of Clontaff Street. Dwellings are predominately brick or rendered brick and tiled roofs. While there are scattered interwar period dwellings, most date from after World War II.

To the west and south west the terrain falls more steeply towards the water. As shown by Figure 49, there are substantial patches of bushland within the areas to the west of the site. Dwellings in these areas have views across Middle Harbour.

Figures 50 to 56 illustrate the general character of the area surrounding the site.

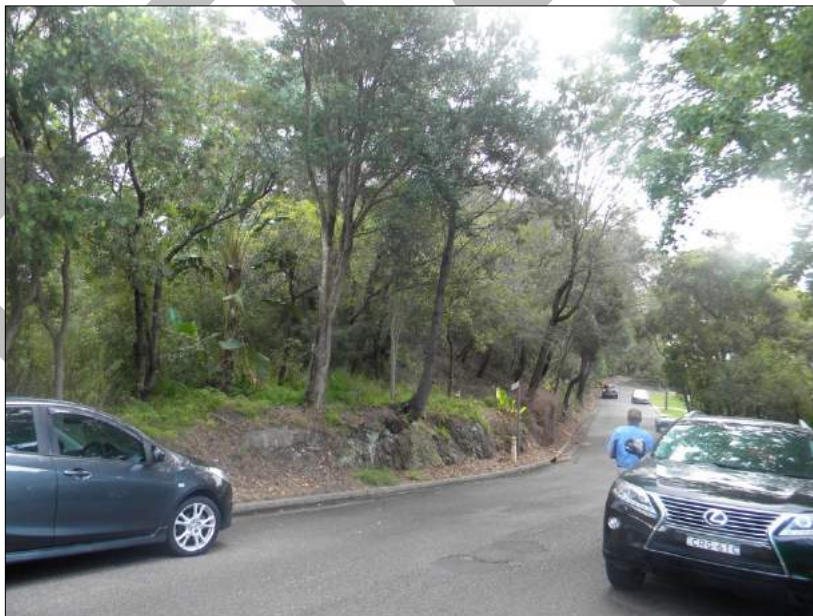


Figure 51:
Looking west along
Callicoma Road.



Figure 52:
Typical dwelling on the
opposite side of
Callicoma Road.



Figure 53:
Showing the character of
the general streetscape
at the corner of Dalwood
Avenue and Gurney
Crescent, looking north.



Figure 54:
Typical dwellings
opposite the site on
Dalwood Avenue.



Figure 55:
The dwellings
immediately south of
the site, fronting
Dalwood Avenue.



Figure 56:
No. Dalwood Avenue,
adjoining the south
eastern corner of the
site.



Figure 57:
Gurney Crescent.



Figure 58:
Childcare Centre on
Clontarf Street,
opposite the main
entrance into the
site.

4.0 ASSESSMENT OF SIGNIFICANCE

Two types of heritage listings may apply to a site:

- Statutory Listings.
- Non-Statutory Listings.

For the following, refer to the listing sheets in Appendix 1.

4.1 Statutory Listings

4.1.1 Commonwealth

No part of Dalwood Home Site is listed as a heritage item on the National or Commonwealth State Lists under the auspices of the *Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act)*.

4.1.2 State (New South Wales)

No part of Dalwood Home Site is listed as a heritage item on the **State Heritage Register** under the auspices of the *NSW Heritage Act 1977*.

Two buildings on the site are listed as heritage items by the **s170 Register** of NSW Department of Health maintained in accordance with the *NSW Heritage Act 1977*. The listings are for:

- 'Principal Building', Dalwood Avenue, Seaforth.
- 'Stone Out Building', Dalwood Avenue, Seaforth. i.e. the Loft Building.

4.1.3 Local (Manly Council)

The site is listed by Schedule 5 Part 1 of the *Manly LEP 2013* as follow:

- 'Dalwood Home (principal building and stone building to Dalwood Home)', No. 21 Dalwood Avenue, Seaforth. Item No. 270. Local significance.

The site is not located within a Conservation Area as identified by Schedule 5 Part 2 of the *Manly LEP 2013*.

The site is not identified as an archaeological site by Schedule 5 Part 3 of the *Manly LEP 2013*.

4.2 Non-Statutory Listings

The Dalwood site is listed on the following non-statutory heritage registers:

- National Trust of Australia (NSW). The listing is under the name 'Dalwood's Children's Home, formerly Clavering,' Frenchs Forest Road, Seaforth. Classified.
- The site also lies within the National Trust's Manly Urban Conservation Area Precinct 5 Seaforth.

Note: The site is not listed on the *Register of the National Estate*.

4.3 Identifying View Corridors

For the following, refer to Figure 58, which identifies the significant view corridors into (marked in yellow) and out of (marked in green) of the site.



Figure 59: Identifying significant view corridors to, from and within the site. The solid red arrows identify significant view corridors into the site from the public domain. The dotted red arrow identifies a distant (likely) view corridor. The yellow arrow identifies a minor view corridor into the site. The green arrows identify significant view corridors out of the site.

SIX Maps; annotations by WP Heritage.

4.3.1 View Corridors Towards the Site

The principal view corridors into the site, defined by the red arrows in Figure 58, are obtained from the northern end of Dalwood Avenue directly outside the site. Significant views are principally those involving Dalwood House and/or the Memorial Gates and, with the exception of views from the entrances and along the driveways, are partially screened by trees and buildings. The Loft is not visible from the public domain. Views towards the other buildings on the site from the public domain are not significant. Refer to Figures 59 and 60 below, to the front cover and to Figure 23.



Figure 60: View towards the site from the southern entrance off Dalwood Avenue.
 Refer to the front cover for a view into the site from directly outside of the northern entrance from Dalwood Avenue (the main entrance). Refer back to Figure 23 for an example of a filtered view into the site from opposite it on Dalwood Avenue.

As approached along Dalwood Avenue from the south, views into the site are screened until directly outside the site by vegetation. Refer to Figure 60. The dense vegetation on the site on approach in this direction provides a marker for it in the street.



Figure 61: View towards the site as approached up Dalwood Avenue from the south.

As approached along Clontaff Street from the north, the view is primarily of the new buildings in the northern corner of the site, which are fenced. Dalwood House becomes visible as the Memorial Gates are passed. Refer to Figures 61 and 62.



Figure 62: Dalwood House is concealed by later buildings and fencing as approached from the north



Figure 63: Dalwood House from the opposite side of Clontaff Street, outside of the main gates.

There are views towards the site from MacMillian Street and Frenches Forest Road to the east. The former are of Dalwood House, partially screened by trees. The latter are principally of the Memorial Gates. Refer to Figures 63 and 64.



Figure 64: View toward Dalwood House from MacMillian Street. This photograph was taken by the authors in 2012, prior to the construction of the new Family and Children's Services Building, which would also be visible in this view corridor.



Figure 65: View towards Dalwood House from Frenches Forest Road.

There are minor glimpses of the upper part of Dalwood House from the eastern most end of Gurney Crescent. Refer back to Figure 37. This is the view corridor identified by the yellow arrow in Figure 58 above.

There are no significant views into the site from Clavering Road or Callicoma Road. The views are of dense vegetation.

There are distant views towards the roof of Dalwood House from Middle Harbour. Refer to Figure 65 below.



Figure 66: View from Peach Tree Bay, near Sugar Loaf Point. The arrow marks Dalwood House.
Google Maps; WP Heritage and Planning.

4.3.2 View Corridors Out of the Site

The most significant view corridors out of the site, in terms of historic view corridors and extant view corridors, are the views towards the water from Dalwood House defined by the green arrows in Figure 58 above. Dalwood House presents its principal elevation to the water; the two storey verandah was positioned to take advantage of these views. The view out towards the water from the other identified heritage building on the site, being the Loft Building, was less critical, as is typical of an auxiliary building.

The way in which the view towards the water is framed has changed over time from one of uninterrupted, dense bushland, to an urbanised view, with remnant bushland. Although altered to some degree, this view is critical to understanding the historic significance of Dalwood House as a Victorian era weekend retreat (Figure 66 and 67). Although the water is not visible when standing further into the site, there is a clear sense from most parts of the site that it stands on elevated land with district views.



Figure 67:
View to towards the water
from directly outside of
Dalwood House.



Figure 68:
View to towards the water
from directly outside of
Dalwood House.

To the south and south east, views out of the site generally, and from Dalwood House and the Loft in particular, are screened by planting within the site or on adjoining properties. From some viewpoints, there are slot views over surrounding housing.

To the north, views out of the site are generally screened by vegetation within the site. From the buildings on the corner with Dalwood Avenue and Callicoma Road, there are views towards surrounding housing. There are no significant views from Dalwood House or the Loft Building to the north.

While views out of the site to the north and south do not specifically contribute to understanding the significance of the property, the fact that vegetation screens the site from suburban development of a different period and type helps manage its significance.

To the east, views out of the site and from Dalwood House are of Dalwood Avenue, Frenchs Forest Road, Clontarf Street and adjoining streets. These views are partially screened by the vegetation that lines the Dalwood Avenue boundary of the site. The views in this direction are vastly altered from their historical context. They do not help explain the significance of the site.

4.3.3 View Corridors Within the Site

For the following, refer to Figure 68, an annotated aerial photograph which illustrates view within the site. The red arrows identify significant view corridors; the yellow arrows identify minor view corridors. Minor view corridors are those that arise out of the layout of the site, but which do not necessarily contribute to the ability to understand its heritage significance. For example, the views identified by the yellow arrows towards the Loft have arisen because of land form and the placement of buildings. The building was not, however, built with regard to these view corridors.



Figure 69: View corridors within the site. Red view corridors are significant. Yellow view corridors are of minor significance.

SIX Maps; WP Heritage.

Significant view corridors within the site are views towards the south western and north eastern elevations of Dalwood House. In recent years, view towards the north western side of Dalwood House from within the site have been impacted upon by the construction of new buildings.

View corridors towards the Loft are of minor significance. This is a utility building that has been altered. It was not designed with regard to view corridors.

There are minor view corridors across the area that it is proposed to rezone towards the Loft (Figure 69) and foreshortened view corridors towards the top of Dalwood House from below the crib wall (Figure 70).



Figure 70:
View to towards the Loft
from across the area that it
is proposed to rezone.



Figure 71:
View towards Dalwood
House from below the crib
wall within the area that it
is proposed to rezone.

4.4 Integrity

The site demonstrates mixed integrity.

The boundaries have altered over time. When Dalwood House was known as Clavering, it stood on over 34 acres of land. This was reduced to just over 2 acres in the late 1920s, before being slightly increased over the following ten years through the purchase of lots from the Loch Lomond Estate subdivision (which included Clavering) and the neighbouring subdivision of E. Vickery's grant.

There is no original or significant fencing on the site. The only entrance gate of significance is the sandstone entrance gate at the northern end of Dalwood Avenue.

The comparison of historic (1943) and current aerial photographs show that the layout of road/paths and the pattern/density of planting on the site has changed over time.

The pattern of buildings on the site have changed over time. Buildings have been demolished and others constructed, altering the immediate setting of the nineteenth century buildings (Dalwood House and the Loft) and view corridors to and from them. Buildings, including Dalwood House and the Loft, have also been retained and altered. It is not the

purpose of this statement to set out all the alterations and additions made to the buildings on the site. Dalwood House and the Loft, as they exists today have undergone significant alteration and addition since constructed as a gentleman's country retreat.

4.5 Significance

4.5.1 Under NSW Heritage Division Criteria

4.5.1.1 Criterion (a)

An item is important in the course, or pattern, of New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> shows evidence of a significant human activity 	<ul style="list-style-type: none"> has incidental or unsubstantiated connections with historically important activities or processes
<ul style="list-style-type: none"> is associated with a significant activity or historical phase 	<ul style="list-style-type: none"> provides evidence of activities or processes that are of dubious historical importance
<ul style="list-style-type: none"> maintains or shows continuity of a historical process or activity 	<ul style="list-style-type: none"> has been altered so that it can no longer provide evidence of a particular association

Dalwood Home Site, Seaforth has historic significance as a place that has provided services to children and their families since 1927, first through the Food for Babies Fund and later as a Public Hospital. The Food for Babies Fund was part of wider movement that arose during the late nineteenth and early twentieth centuries that focused on women and children's welfare. The type of services offered on the site has continued to evolve to meet changing social needs.

Dalwood Home Site, Seaforth has historic and aesthetic significance as a rare local example of a Victorian period villa estate. It is noted that its use for this purpose was periodic. It was not Gurney's primary place of residence and Dalwood does not appear to have occupied it. This phase of use is shorter than its ongoing use for children's services. Two buildings survive from this period: Dalwood House (originally Clavering), c.1878, and a stone outbuilding, now known as the Loft, c.1880s. Although the estate on which the two buildings now stands have been substantially reduced, the two early buildings altered and other buildings erected on the site, it is still possible to understand that these buildings were once part of gentleman's estate.

4.5.1.2 Criterion (b)

An item has strong or special association with the life or works of a person, or group of persons, of importance in New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> shows evidence of a significant human occupation 	<ul style="list-style-type: none"> has incidental or unsubstantiated connections with historically important people or events
<ul style="list-style-type: none"> is associated with a significant event, person, or group of persons 	<ul style="list-style-type: none"> provides evidence of people or events that are of dubious historical importance
<ul style="list-style-type: none"> maintains or shows continuity of a historical process or activity 	<ul style="list-style-type: none"> has been altered so that it can no longer provide evidence of a particular association

Dalwood Home Site, Seaforth has significance for its association with A.E. Dalwood and his philanthropic activities and the Food for Babies Fund. The works started by the Food for Babies Fund have evolved and are continued by the NSW state government today.

The site also has significance for its association with Theodore Gurney, Professor of Mathematics at Sydney University from 1877 to 1902, who purchased the original Alleyne grant and built the villa, now Dalwood House, and its associated outbuilding. While altered, Dalwood House is still clearly recognisable as Gurney's Clavering.

4.5.1.3 Criterion (c)

An item is important in demonstrating aesthetic characteristics and/or a high degree of technical achievement in New South Wales (or the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">shows or is associated with, creative or technical innovation or achievement	<ul style="list-style-type: none">is not a major work by an important designer or artist
<ul style="list-style-type: none">is the inspiration for creative or technical innovation or achievement	<ul style="list-style-type: none">has lost its design or technical integrity
<ul style="list-style-type: none">is aesthetically distinctive or has landmark qualities	<ul style="list-style-type: none">its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded
<ul style="list-style-type: none">exemplifies a particular taste, style or technology	<ul style="list-style-type: none">has only a loose association with a creative or technical achievement

Dalwood House has significance as a large Victorian period villa with later neo-Gothic Style alterations and additions. It is understood that the interior contains significant fabric, including a substantial cedar staircase and leadlight windows.

The Loft similarly has aesthetic significance, albeit at a lower level to the villa. While altered and added to, it is recognisable as an late nineteenth century outbuilding.

Despite the changes to its curtilage over time and the construction of other buildings on the site, the site retains an ability to understand the aesthetic significance of its original setting, high above Middle Harbour. There are significant trees on the site to the south east and north east of Dalwood House.

4.5.1.4 Criterion (d)

An item has strong or special association with a particular community or cultural group in New South Wales (or the local area) for social, cultural or spiritual reasons

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">is important for its association with an identifiable group	<ul style="list-style-type: none">is only important to the community for amenity reasons
<ul style="list-style-type: none">is important to a community's sense of place	<ul style="list-style-type: none">is retained only in preference to a proposed alternative

Dalwood Home Site, Seaforth has significance under this criterion. Throughout its long history of use for the care of children and the families it has been the recipient of assistance from benefactors. It continues to enjoy community support. Whether past recipients of the services of the site retain an attachment to the place has not been investigated.

4.5.1.5 Criterion (e)

An item has potential to yield information that will contribute to an understanding of New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">has the potential to yield new or further substantial scientific and/or archaeological information	<ul style="list-style-type: none">has little archaeological or research potential
<ul style="list-style-type: none">is an important benchmark or reference site or type	<ul style="list-style-type: none">only contains information that is readily available from other resources of archaeological sites
<ul style="list-style-type: none">provides evidence of past human cultures that is unavailable elsewhere	<ul style="list-style-type: none">the knowledge gained would be irrelevant to research on science, human history of culture

The physical and documentary evidence associated with Dalwood Home Site, Seaforth demonstrates the evolution of children's services first by a private organisation (Babies Food Fund) and later by the NSW government.

The brief for this assessment did not include an archaeological assessment.

4.5.1.6 Criterion (f)

An item possesses uncommon, rare or endangered aspects of New South Wales' cultural or natural history (of the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">provides evidence of a defunct custom, way of life or process	<ul style="list-style-type: none">is not rare
<ul style="list-style-type: none">demonstrate a process, custom or other human activity that is in danger of being lost	<ul style="list-style-type: none">is numerous but under threat
<ul style="list-style-type: none">shown unusually accurate evidence of a significant human activity	
<ul style="list-style-type: none">is the only example of its type	
<ul style="list-style-type: none">demonstrate designs or techniques of exceptional interest	
<ul style="list-style-type: none">shown rare evidence of a significant human activity important to a community	

Dalwood House and outbuilding provide a rare local example of a late nineteenth century gentleman's rural retreat.

4.5.1.7 Criterion (g)

An item is important in demonstrating the principal characteristics of a class of New South Wales (or a class of the local areas):

- Cultural or natural places; or**
- Cultural or natural environments**

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> • is a fine example of its type 	<ul style="list-style-type: none"> • is a poor example of its type
<ul style="list-style-type: none"> • has the potential characteristics of an important class or group of items 	<ul style="list-style-type: none"> • does not include or has lost the range of characteristics of a type
<ul style="list-style-type: none"> • has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique of activity 	<ul style="list-style-type: none"> • does not represent well the characteristics that make up a significant variation of type
<ul style="list-style-type: none"> • is a significant variation to a class of items 	
<ul style="list-style-type: none"> • is part of a group which collectively illustrates a representative type 	
<ul style="list-style-type: none"> • is outstanding because of its setting, condition or size 	
<ul style="list-style-type: none"> • is outstanding because of its integrity or the esteem in which it is held 	

Dalwood Home Site, Seaforth demonstrates the evolution of child welfare first by a private organisation and later by the state from the late 1920s through to the current date. It demonstrates the evolution in societal and government attitudes to the needs and care of children and their families suffering from disadvantage.

Despite the addition of buildings to the site overtime, Dalwood House and its associated outbuilding are a rare example of a late nineteenth century gentleman's retreat. It retains a large parcel of land and its outlook (albeit altered) towards Middle Harbour. The extensive bushland part of the site contributes to the surrounding area and provides some understanding of the original setting and isolation of Dalwood House.

4.5.2 Statements of Significance

4.5.2.1 Existing Statements of Significance

There are a number of existing statements of significance for the site, as follows.

S170 Listing

This listing provides two separate statements of significance for Dalwood House and the Loft.

The statement of significance given by the s170 listing for Dalwood House is as follows:

'A rare example of a Victorian sandstone villa in the Manly area. Of historical significance because of its association with philanthropy.'²⁵

The statement of significance given by the s170 listing for the Stone Out Building (the Loft) is as follows:

²⁵ *Principal Building*, Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 3540677.

'Along with the original sandstone villa, this stone out building is of historical significance in the Manly area as a rare example of its type and for its associations with philanthropy.'²⁶

Manly LEP 2013

This listing provides two separate statements of significance for Dalwood House and the Loft.

The State Heritage Inventory listing sheet associated with the listing under the *Manly LEP 2013* provides the following statement of significance for Dalwood House:

'Regionally significant historically and socially, and aesthetically as the home of Theodore Gurney and Mr. A.E. Dalwood, and as Dalwood Home for disadvantaged children.'²⁷

The State Heritage Inventory listing sheet associated with the listing under the *Manly LEP 2013* provides the following statement of significance for the stone outbuilding:

'Significant Out Building associated with Dalwood Home. Represents rare surviving gentleman's residence outbuilding.'²⁸

National Trust

The National Trust listing card for the site provides the following reasons for listing:

'A well-constructed mansion exhibiting a transitional phase of late nineteenth century architectural styles which, in its idyllic setting overlooking Middle Harbour, is still reminiscent of the isolation of this area before the turn of the century. The building also has links with Professor Theodor Thomas Gurney and with the early twentieth century philanthropy of A.E. Dalwood.'²⁹

4.5.2.2 Revised Statement for the Purposes of this Report

The primary significance of Dalwood Home Site, Seaforth, lies in its historic and social significance as a place that has provided services to children and their families since 1927, first through the Food for Babies Fund and later as a Public Hospital. The Food for Babies Fund was part of wider movement that arose during the late nineteenth and early twentieth centuries that focused on women and children's welfare. The type of services offered on the site has continued to evolve to meet changing social needs. The site thus demonstrates the evolution in societal and government attitudes to the needs and care of children and their families suffering from disadvantage. The site has social significance arising out of its significant associations with numerous groups and individuals who have been actively involved in its governance, day to day operation and fund raising.

Dalwood Home Site has historic and aesthetic significance as an example of a Victorian period villa estate. Two buildings survive from this period: Dalwood House and a much altered stone outbuilding, now known as the Loft Building. Dalwood House, originally Clavering, was constructed in 1878 as a weekend retreat for the University of Sydney Professor of Mathematics, Thomas Gurney, at a time when Seaforth was isolated and sparsely settled. The site has historic associations with A.E. Dalwood, who originally donated the property to the Food for Babies Fund.

²⁶ *Stone Out Building*, Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 3540678.

²⁷ *Dalwood- Principal Building*, No. 21 Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 2020383.

²⁸ *Dalwood- Stone Out Building*, No. 21 Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 2020384.

²⁹ *Dalwood's Children Home, formerly Clavering*, Frenches Forest Road, Seaforth. Listing I.D. S7284.

Dalwood Home Site makes a significant contribution to the public domain through the presence of the Dalwood House, the later main entrance gates and mature exotic planting, particularly along the Dalwood Avenue boundary and in the south eastern corner of the site. The extensive bushland part of the site also contributes to the surrounding area and provides some understanding of the original setting and isolation of Dalwood House.

4.5.3 Items in the Vicinity

This statement also considers the impact of the proposed works on heritage items in the vicinity of the site.

'In the vicinity' has been determined by physical proximity and existing/potential view corridors.

There are no heritage items listed on the State Heritage Register or a s170 Register under the auspices of the *NSW Heritage Act 1977* within the vicinity of the site.

There are two heritage items listed by Schedule 5 Part 1 of the *Manly LEP 2013* within the vicinity of the site. Figure 71 in Section 4.6.2 below shows the location of these items with respect to the site. These items are as follows:

- Stone House, No. 8 Clavering Road, Seaforth (I277)

Note: The SHI listing sheet gives the address of this item as No. 2 Rignold Avenue.

The SHI provides the following description of this item:

'Two storey sandstone house with gabled concrete tile roof with high sandstone foundations. Decorative timber bargeboards to gable ends. Timber framed multipaned casement windows. Concrete floor to front verandah with no balustrade.'³⁰

The SHI provides the following statement of significance for this item:

'A Victorian Gothic style sandstone residence significant as evidence of early waterfront development in Seaforth.'³¹

This item has a lot boundary curtilage.

The principal view corridors towards this item from the public domain are obtained from directly outside of it. The principal view corridors out of the site are towards Middle Harbour.

This item lies to the west of the Dalwood Home Site. It is screened from the buildings at Dalwood by the dense bush that lies in the north western corner of the Dalwood Home Site. this bushland contributes to the setting of No. Clavering Road.

- Dry stone wall, Clavering Road, Seaforth (I269)

There is no heritage listing sheet for this item. It is likely to have aesthetic significance as a substantial dry stone wall visible from the public domain. This item lies to the west of the Dalwood Home site and is separated from it by a number of intervening lots. It is not visible from the Dalwood Home Site and not visible within significant view corridor towards it.

³⁰ *Stone House*, No. 2 Rignold Avenue, Seaforth. State Heritage Inventory Database No.: 2020381.

³¹ *Ibid.*

4.6 Curtilage

4.6.1 Different Types of Curtilage

When a heritage item or place is being considered for management purposes, a decision must be made about the extent of land around it that could be considered to contain its heritage significance. This boundary is often referred to as the curtilage of a site.

Curtilage is a difficult concept that is subject to many interpretations. Curtilage takes into consideration tangible and intangible historic relationships and aesthetic relationships defined by vistas and visual corridors. In other words, curtilage moderates between a site and its setting. Curtilage may be comprised of more or less than the legal or physical boundary of a site:

‘At times there is a clear distinction between the place and its setting – only rarely is a culturally significant place self-contained within definite boundaries, without some visible link to the world around it. If the cultural significance of a place relates to its visual attributes – such as form, scale, colour, texture and materials – its setting is of special importance.’³²

For the purposes of this assessment, the following definition, provided by the NSW Heritage Branch, has been adopted.

Curtilage is:

‘... the area of land (including land covered by water) surrounding an item or area of heritage significance which is essential for retaining and interpreting its heritage significance. This can apply to either:

Land which is integral to the heritage significance of the items or the built heritage; or

A Precinct which includes buildings, works, relics, trees or places and their setting.’³³

The NSW Heritage Office (now Branch) has identified a number of types of curtilage:

- *Lot boundary curtilage*: the most common type of curtilage, comprising the boundary of the property containing the heritage item.
- *Reduced lot boundary curtilage*: less than the lot boundary of a site.
- *Expanded heritage curtilage*: greater than the lot boundary of a site.³⁴

4.6.2 Existing Curtilages

4.6.2.1 s170 Listing

The listing sheet for the site from the NSW Department of Heritage and Conservation Register does not define the boundaries of the listing. It may be that only the lot on which the two buildings stand is subject to the heritage listing. Alternatively, and more likely, the listing includes the entire site, as is the case under the *Manly LEP 2013* (see below). No further information has been obtained through enquiries to the Department.

³² Commentary for Article 8 of the Burra Charter in Marquis-Kyle, Peter and Walker, Meredith, *The Illustrated Burra Charter*, Victoria, Australia ICOMOS Inc., 2004, p.38.

³³ New South Wales Heritage Office and Department of Urban Affairs and Planning, *Heritage Curtilages*, NSW, NSW Heritage Office and Department of Urban Affairs and Planning, 1996, p.3.

³⁴ *Ibid*, pp.5-7.

4.6.2.2 Manly LEP 2013

Schedule 5 Part 1 of the *Manly LEP 2013* identifies the listing boundaries as follows:

Lots 1–12, DP 620; Lots 4A–7A, DP 17157; Lot 1, DP 325784; Lot 1, DP 325720; Lot 87, DP 666550; Lots 76–77, DP 112214.

This is the entire site area. Refer to Figure 72. The site is coloured brown and numbered '1270.'



Figure 72: View to towards the Loft from across the area that it is proposed to rezone.

Detail of the Heritage Plan, *Manly LEP 2013*.

4.6.2.3 National Trust of NSW

The National Trust Listing Sheet describes the listing area as: 'the area to the property boundary.'

4.6.3 Recommend Curtilage

The following curtilage recommendation is based on the following:

- Dalwood House, the stone outbuilding (the Loft Building) and the memorial entrance gates are the only built structures that must be retained in order to understand the significance of the site. The other structures on the site have varying levels of historic and social significance but no aesthetic significance. In some instances, their presence has impacted upon the aesthetic significance of Dalwood House.
- There is significant exotic planting on the site, particularly along the Dalwood Avenue frontage and within the south eastern corner of the site.
- Maintaining an understanding of the relationship of Dalwood House to remnant bushland assists in understanding its original setting.
- Maintaining the outlook of Dalwood House to Middle Harbour assists in understanding the original setting of Dalwood House.

In determining curtilage, the following has been taken into consideration:

- The history of the site, including the subdivision pattern and the addition of land over time to the irregularly spaced lot that was first gifted to Dalwood House in the 1930s. The lot boundaries of this lot (Lot 1 D.P. 325784) appear to be arbitrary rather than historically significant and determined by a subdivision (the Loch Lomond Estate) that was only partially realised.
- The relative significance of the different phases of the site's history. The most significant aspect of the site's history is its use for the care of children and their families.
- The topography of the site and the surrounding area. The lower part of the site lies below the significant view lines from Dalwood House.
- View corridors into and out of the site as a whole and to and from individual buildings.
- The orientation of the principal buildings.
- The use and outlook of the buildings: i.e. Dalwood House as the main residence; the stone building as an outbuilding.
- Significant plantings.
- The high level of protection given by Council to the bushland that comprises large areas of the site. This is essentially a general planning, as opposed to, heritage constraint, although it is noted that the bushland setting provides some understanding of the original setting of Dalwood House.
- The character of the area immediately surrounding the site.

Given the above, a reduced lot boundary curtilage is recommended, comprising the following lots: part of Lot 1 D.P. 325784, Lot 87 D.P. 666550 and Lot 1 D.P. 620. Refer to Figure 73.



Figure 73: Recommended Curtilage.
SIX Maps; annotations by WP Heritage.

In defining the above as the curtilage, it is noted that retaining the existing general vegetative cover on the land to the north west, west, south west and south of the site will assist in maintaining an understanding of the original setting of the site. It is further noted that the lots immediately south of Dalwood House, and part of the subject site, lie

beneath the view lines that exist out from the building towards Middle Harbour. Retaining a high level of vegetative cover on these sites is less critical.

5.0 THE PROPOSAL

The planning proposal is for an amendment to *Manly Local Environmental Plan 2013 (LEP 2013)*, on behalf of NSW Ministry of Health. It seeks to rezone Lots 4A, 5A, 6A and 7A in D.P. 17157, part of Lot 1 in D.P. 325720 and part of Lot 1 in D.P. 325784 from part SP2 Infrastructure (Health Services Facilities) and part E2 Environmental Conservation to part R2 Low Density Residential and part E4 Environmental Living. The rezoning will accommodate the future establishment of four dwellings on each of the lots.

Refer to Figure 74 below.



Figure 74: Proposed Expanded Lot 7A.
The Client.

6.0 EFFECT OF WORKS ON THE SITE

6.1 Boundary Adjustment

The proposed realignment of lot boundaries to expand Lot 7A will have no impact on the significance of the site for the following reasons:

- The site as a whole contains numerous lots across several deposited plans. Understanding the boundaries of each of the individual lots within the existing site boundaries lies in historic records only and does not contribute to the ability to understand the significance of the site. The lot boundaries of this lot (Lot 1 D.P. 325784) appear to be arbitrary rather than historically significant and determined by a subdivision (the Loch Lomond Estate) that was only partially realised.
- Changing the lot boundaries will not impact on significant fabric or view corridors.

6.2 Proposed Rezoning

The proposed rezoning of the lots will have an acceptable impact on the significance of the site for the following reasons:

- These lots are located outside of the reduced site curtilage recommended above.
- These lots are located well below the level of Dalwood House, which, even when these lots are built upon, will continue to have unobstructed views to Middle Harbour. Views from Middle Harbour will similarly remain unobstructed. If the roof tops are visible, they will read in conjunction with other roof tops within the tree line below Dalwood House.
- Where the roof tops of new dwellings are visible from within the Dalwood Home Site, they will not impede enjoyment of the views towards Middle Harbour. There are already roof tops within the tree-line within these view corridors.
- Buildings upon these lots of the scale governed by the zoning controls will not block significant view corridors into the site or within the site.
- Development of these lots in line with the proposed R2- Low Density Residential is in line with the character of the area immediately surrounding the subject site. Building(s) constructed on these lots in line with the zoning (and other Council controls) will sit comfortably within the established character of the surrounding area.
- The building areas indicated by Figure 74 are largely located within already cleared land. The majority of the new Lot 7A will retain a zoning of Environmental Living and hence the majority of its vegetative cover.

7.0 EFFECT OF WORKS ON HERITAGE ITEMS IN THE VICINITY

The heritage items in the vicinity of the site, identified in Section 4.5.3 above, are sufficiently removed from the area of proposed works for there to be no impact on their setting or view corridors. There will be no impact on the ability to understand their significance.

8.0 CONCLUSIONS AND RECOMMENDATIONS

This HIS has considered the history and significance of Dalwood Home Site, Dalwood Avenue, Seaforth, New South Wales.

Two items on the site are specifically identified as heritage items by statutory registers, being Dalwood House and a stone outbuilding, also known as the Loft Building. While no listing boundary is provided by the s170 Register (NSW Health) listings for either building, the *Manly LEP 2013* identifies the entire site area as a heritage item. There are other individual elements of significance of the site, notably the Memorial Gates on Dalwood Avenue and the mature trees along the Dalwood Avenue boundary and in the south eastern corner of the site. The significant areas of bushland that cover part of the site are subject to planning restrictions, but also contribute to understanding the original setting of Dalwood House.

The primary significance of the site arises out of its association with the provision of services to children and their families since 1927. Dalwood House is also a rare example of a Victorian villa within the immediate area. There is considerable scope for new works where this core significance is supported. Dalwood House also has historic and aesthetic significance as an example of a Victoria period villa. This aspect of significance must also be preserved.

Dalwood currently comprises 22 individual allotments. This report recommends a reduced lot curtilage comprising all or part of the following lots: part of Lot 1 D.P. 325784 and all of Lot 87 D.P. 666550 and Lot 1 D.P. 620. This curtilage takes into consideration the significant elements on the site, their setting and view corridors.

The area of proposed works comprises Lots 4A, 5A, 6A and 7A D.P. 17157; part of Lot 1 D.P. 325720 and part of Lot 1 D.P. 325784. A boundary adjustment is proposed, together with rezoning of all but a small section of land for R2 Low Density Residential. The proposed works will have an acceptable impact because:

- The site boundaries have changed over time. Understanding the individual lot boundaries lies in historic records only. Changing the lot boundaries will have no impact on the significance of the site. The lot boundaries of this lot (Lot 1 D.P. 325784) appear to be arbitrary rather than historically significant and determined by a subdivision (the Loch Lomond Estate) that was only partially realised.
- The effected lots are located well below the level of Dalwood House. Dwellings on these lots will not block view corridors to/from Middle Harbour.
- Dwellings on these lots will not block significant view corridors to/from surrounding streets or from within the site.
- Development of these lots in line with the proposed R2- Low Density Residential is line with the character of the area immediately surrounding the subject site. Building(s) constructed on these lots in line with the zoning (and other Council controls) will sit comfortably within the established character of the surrounding area.

9.0 APPENDIX 1

Heritage Listing Sheets

NSW Health s170

- *Dalwood Children's Home Precinct, Principal Building*, No. 21 Dalwood Avenue, Seaforth. Preliminary Heritage and Conservation Register, Northern Sydney Area Health Service. Heritage Register No. 01/2/6/1000.
- *Dalwood Children's Home Precinct, Stone Cut Building*, No. 21 Dalwood Avenue, Seaforth. Preliminary Heritage and Conservation Register, Northern Sydney Area Health Service. Heritage Register No. 01/2/6/1001.

State Heritage Inventory

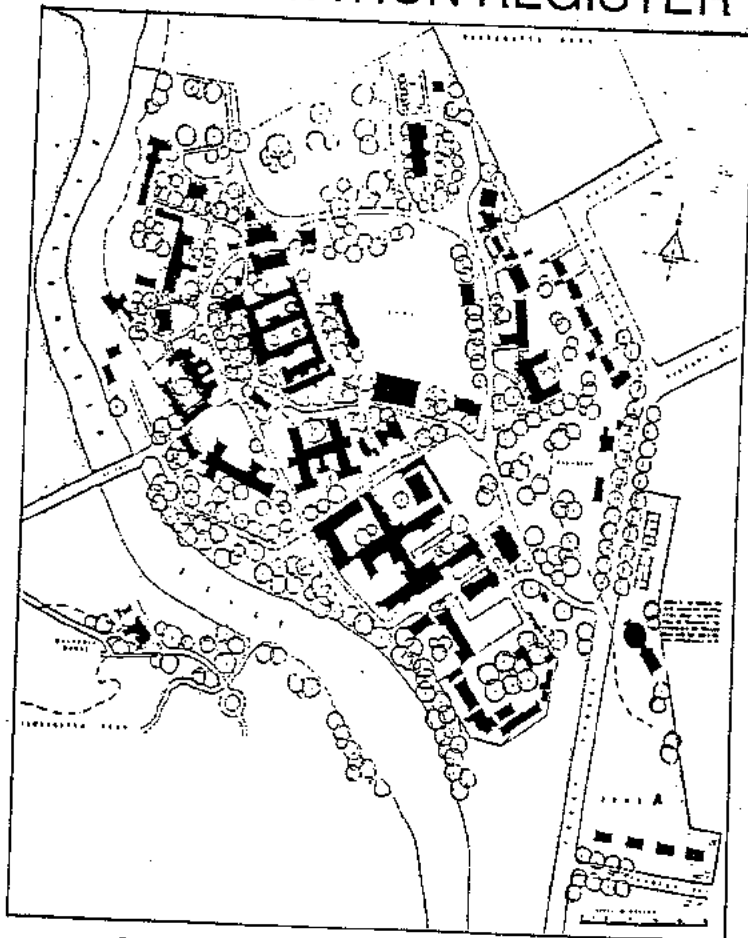
- *Dalwood- Principal Building*, No. 21 Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 2020383. Manly Council listing.
- *Dalwood- Stone Out Building*, No. 21 Dalwood Avenue, Seaforth. State Heritage Inventory Database No.: 2020384. Manly Council listing.

National Trust of Australia (NSW)

- *Dalwood's Children Home, formerly Clavering*, Frenches Forest Road, Seaforth. Listing I.D. S7284.

NSW DEPARTMENT OF HEALTH

PRELIMINARY HERITAGE AND
CONSERVATION REGISTER



NORTHERN SYDNEY
AREA HEALTH SERVICE

SCHWAGER BROOKS AND PARTNERS
ARCHITECTS AND HERITAGE CONSULTANTS
FEBRUARY 1992

DRAFT

NAME: Dalwood Childrens' Home Precinct Principal Building		HERITAGE REGISTER NO: 01/2/6/1000
ADDRESS: 21 Dalwood Avenue Seaforth		
HEALTH DEPT REGION: Northern Sydney		HISTORICAL SUMMARY: Part of the Alleyne Grant (undated) and Vickery Grant c1859, purchased by Theodore Burney c1877, land subdivided in 1922. Children's home opened in 1929. Originally called 'Clavering'.
LOCAL GOVERNMENT AREA: Manly		
S.H.I.P. CATEGORY: 1099		
CURRENT USE: Children's Home		
FORMER USE:		DESCRIPTION: A two storey villa constructed c1878. The building has undergone major alterations and additions which obscure its original appearance. Elements of note include a neo Gothic entrance, casement leadlight windows and internal joinery.
KEY DATES: c1878		
ARCHITECT / DESIGNER:		
ARCHITECTURAL STYLE: Victorian Gothic		
NO. OF STOREYS: 2		CONSTRUCTION: Sandstone walls.
CONDITION: <input checked="" type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> POOR		
SIGNIFICANCE: <input type="checkbox"/> HIGH <input checked="" type="checkbox"/> MEDIUM <input type="checkbox"/> LOW		
HERITAGE LISTINGS: <input type="checkbox"/> A.H.C. <input type="checkbox"/> P.W.D. <input type="checkbox"/> P.C.O. <input checked="" type="checkbox"/> L.E.P. <input checked="" type="checkbox"/> N.T. <input type="checkbox"/> D.R.L.E.P. <input type="checkbox"/> R.A.I.A. <input type="checkbox"/> R.E.P. <input type="checkbox"/> N.P.W.S. <input type="checkbox"/>		SIGNIFICANCE: A rare example of a Victorian sandstone villa in the Manly area. Of historical significance because of its association with philanthropy.
DEMOLITION CONSENT REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
HEALTH ASSET REG. NO. 01-2-01-01		
RECOMMENDED CONSERVATION STRATEGY:		
STUDY REFERENCES:		
NSW DEPARTMENT OF HEALTH HERITAGE AND CONSERVATION REGISTER SCHWAGER BROOKS AND PARTNERS PTY LTD ARCHITECTS AND HERITAGE CONSULTANTS		

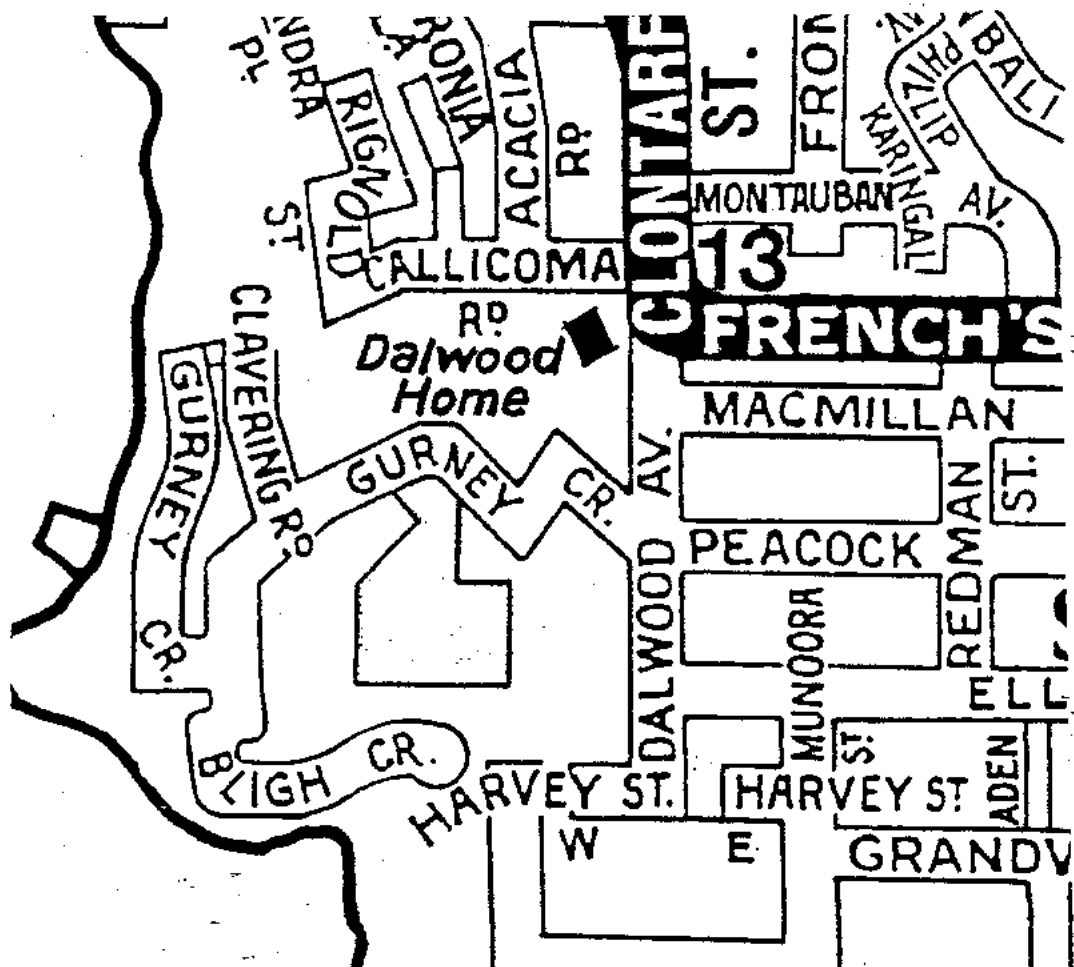
DRAFT

NAME:
Dalwood Childrens' Home Precinct
Principal Building

HERITAGE REGISTER NO:
01/2/6/1000

ADDRESS:
21 Dalwood Avenue
Seaforth

NSW



NSW DEPARTMENT OF HEALTH
HERITAGE AND CONSERVATION REGISTER
SCHWAGER BROOKS AND PARTNERS PTY LTD
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DRAFT

NAME:
Dalwood Childrens' Home Precinct
Principal Building

HERITAGE REGISTER NO:
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Seaforth

NSW



**NSW DEPARTMENT OF HEALTH
HERITAGE AND CONSERVATION REGISTER**
SCHWAGER BROOKS AND PARTNERS PTY LTD
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DRAFT

NAME: Dalwood Children's Home Precinct Stone Cut Building		HERITAGE REGISTER NO: 01/2/6/1001
ADDRESS: 21 Dalwood Avenue Seaforth NSW 2092		
HEALTH DEPT REGION: Northern Sydney	HISTORICAL SUMMARY: Presumed to be of a similar age to the main building, c1878	
LOCAL GOVERNMENT AREA: Manly		
S.H.I.P. CATEGORY: 1099		
CURRENT USE: Children's Home		
FORMER USE:	DESCRIPTION: A simple rectangular building of two stories, with a gable roof, used as a store house. Evidence of a former cat head above a first floor window which suggests a loft storage. Ground floor appears to have been used as a dwelling.	
KEY DATES: c1878		
ARCHITECT / DESIGNER:		
ARCHITECTURAL STYLE: Victorian Gothic	CONSTRUCTION: Stone walls, gable roof clad in corrugated iron with decorative timber barge boards.	
NO. OF STOREYS: 2		
CONDITION: <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> POOR		
SIGNIFICANCE: <input type="checkbox"/> HIGH <input type="checkbox"/> MEDIUM <input checked="" type="checkbox"/> LOW	SIGNIFICANCE: Along with the original sandstone villa, this stone out building is of historical significance in the Manly area as a rare example of its type and for its associations with philanthropy.	
HERITAGE LISTINGS: <input type="checkbox"/> A.H.C. <input type="checkbox"/> P.W.D. <input type="checkbox"/> P.O.O. <input checked="" type="checkbox"/> L.E.P. <input type="checkbox"/> N.T. <input type="checkbox"/> DR L.E.P. <input type="checkbox"/> R.A.I.A. <input type="checkbox"/> R.E.P. <input type="checkbox"/> N.P.W.S. <input type="checkbox"/>		
DEMOLITION CONSENT REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	RECOMMENDED CONSERVATION STRATEGY:	
HEALTH ASSET REG. NO. 01-2-01-01	STUDY REFERENCES:	
NSW DEPARTMENT OF HEALTH HERITAGE AND CONSERVATION REGISTER SCHWAGER BROOKS AND PARTNERS PTY LTD ARCHITECTS AND HERITAGE CONSULTANTS		

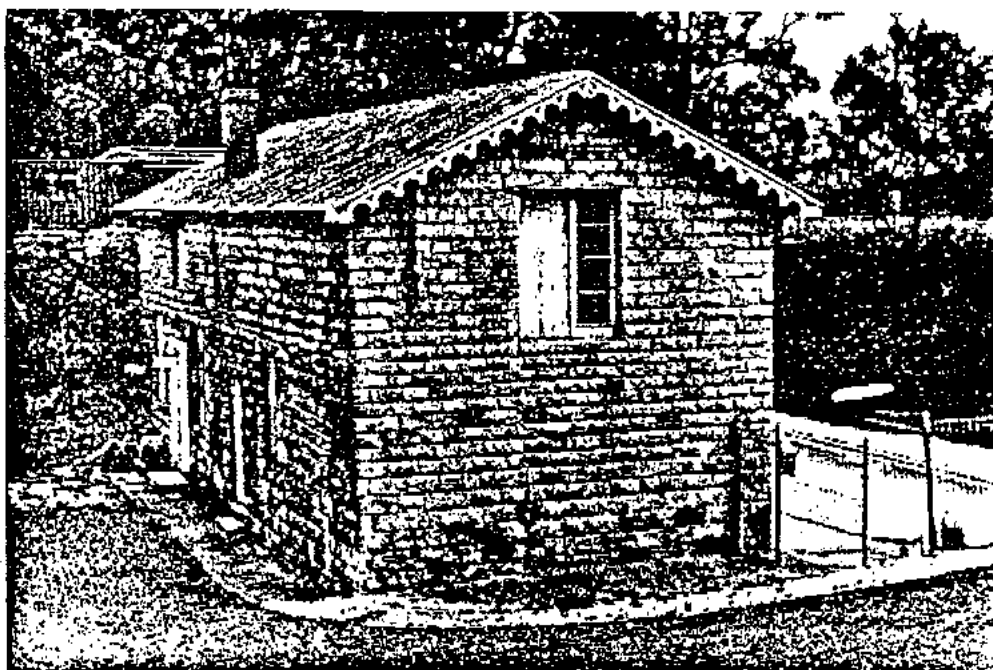
DRAFT

NAME:
Dalwood Children's Home Precinct
Stone Cut Building

HERITAGE REGISTER NO:
01/2/6/1001

ADDRESS:
21 Dalwood Avenue
Seaforth

NSW



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DRAFT

You are here: [Home](#) > [Heritage sites](#) > [Searches and directories](#) > NSW heritage search

Dalwood - Principal Building

Item details

Name of item: Dalwood - Principal Building
Type of item: Built
Group/Collection: Community Facilities
Category: Other - Community Facilities
Primary address: 21 Dalwood Avenue, Seaforth, NSW 2092
Local govt. area: Manly

All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
21 Dalwood Avenue	Seaforth	Manly			Primary Address

Statement of significance:

Regionally significant historically and socially, and aesthetically as the home of Theodore Gurney and Mr. A.E. Dalwood, and as Dalwood Home for disadvantaged children.

Date significance updated: 27 Apr 00

Note: There are incomplete details for a number of items listed in NSW. The Heritage Branch intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Physical description: Two storey sandstone Victorian Gothic style house with parapeted entrance with Gothic pointed arch, timber-framed double hinge windows, hipped unglazed terracotta roof. Return verandah facing water views. On a landmark site.

History

Historical notes: As per 1976 study attached extract. Part of Alleyne Grant (undated) and Vickery Grant (c.1859); purchased by Theodore Burney c.1877; subdivided 1922; Children's Home 1929

Historic themes

Australian theme (abbrev)	New South Wales theme	Local theme
4. Settlement-Building settlements, towns and cities	Accommodation-Activities associated with the provision of accommodation, and particular types of accommodation – does not include architectural styles – use the theme of Creative Endeavour for such activities.	(none)-
7. Governing-Governing	Welfare-Activities and process associated with the provision of social services by the state or philanthropic organisations	(none)-

Recommended management:

Whole site requires Conservation Management Plan

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Local Environmental Plan					
Heritage study					

Study details

Title	Year	Number	Author	Inspected by	Guidelines used
Manly Heritage Study	1986		Blackmore, Ashton, and Co.		No
Review and Database Listing	1999		C. Kemp/ W. McArthur		Yes
Manly Planning Scheme Review Stage 1	1976		Manly Municipal Council		No

References, internet links & images

None

Note: internet links may be to web pages, documents or images.



(Click on thumbnail for full size image and image details)

Data source

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Name: Local Government

Database number: 2020383

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You are here: [Home](#) > [Heritage sites](#) > [Searches and directories](#) > NSW heritage search

Dalwood - Stone Out Building

Item details

Name of item: Dalwood - Stone Out Building
Type of item: Built
Group/Collection: Farming and Grazing
Category: Stables
Primary address: 21 Dalwood Avenue, Seaforth, NSW 2092
Local govt. area: Manly

All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
21 Dalwood Avenue	Seaforth	Manly			Primary Address

Statement of significance:

Significant outbuilding associated with Dalwood Home. Represents rare surviving gentlemen's residence outbuilding.

Date significance updated: 27 Apr 00

Note: There are incomplete details for a number of items listed in NSW. The Heritage Branch intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Physical description: Gabled roofed sandstone outbuilding with loft storage.

History

Historical notes: As per 1976 study sheet.

Historic themes

Australian theme (abbrev)	New South Wales theme	Local theme
3. Economy-Developing local, regional and national economies	Pastoralism-Activities associated with the breeding, raising, processing and distribution of livestock for human use	(none)-
4. Settlement-Building settlements, towns and cities	Accommodation-Activities associated with the provision of accommodation, and particular types of accommodation – does not include architectural styles – use the theme of Creative Endeavour for such activities.	(none)-

Recommended management:

Whole site requires Conservation Management Plan

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Local Environmental Plan					
Heritage study					

Study details

Title	Year	Number	Author	Inspected by	Guidelines used
Manly Heritage Study	1986		Blackmore, Ashton, and Co.		No
Review and Database Listing	1999		C. Kemp/ W. McArthur		Yes
Manly Planning Scheme Review Stage 1	1976		Manly Municipal Council		No

References, internet links & images

None

Note: internet links may be to web pages, documents or images.



(Click on thumbnail for full size image and image details)

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SEAFORTH	DALWOOD CHILDREN'S HOME FORMERLY JCLAVERING INCLUDING CARRIAGE HOUSE	Frenchs Forest Rd
(Town or District)		
Post Code 2092 Mun of Local Govt. Area Manly		
Author of Proposal from site listing by A Braund		
Date of Proposal 1976,1983	(Name or Identification of Listing)	(Address or Location)
Suggested Listing Category CLASSIFIED SILL RECORD: 0	Bibliography Records of Dalwood House, Manly Daily, 8/10/75; Sands Directory 1880-1898; Manly Planning Scheme Review Stage 1	Owner and Address
Committee SEE OVER (Trust Use) HBC		
Council APPROVED R (Trust Use) 22/11/76		

Description Briefly cover the points on the following check list where they are relevant and within your knowledge.

Style The original sandstone building c1880 was built for Professor Theodore Thomas Gurney
Construction Dean of Arts at the University of Sydney, as an idyllic retreat. It was probably
Use one of the earliest grand houses in this area. After Gurney retired and returned
Architect/s to England in 1902, the house was purchased by Mr A E Dalwood, a Real Estate Agent.
Builder/s The estate was subdivided in 1922 and in the mid-1920s Dalwood offered the house
Date of Construction to the Food for Babies Fund as a holiday retreat for needy mothers and babies.
Present He subsequently donated the house to the Trustees of the Fund and the Dalwood
Condition Children's Health Home was opened on February 18, 1928. It was incorporated as a
History children's hospital in 1932 and has been administered by the Health Commission
Owners since then.
Boundaries of proposed listing The building is massive in form and construction with the heaviness relieved to
some extent by elegant fanlights and verandah posts and balustrade. It features a con-
glomerate of late nineteenth century styles including picturesque gothic, Italianate and
some Federation details. The hipped roofs over the main section and bays were originally
of iron but were tiled in 1967. The western facade was apparently the original entrance
to the house and has an open view over Middle Harbour. The entrance is now located in the
eastern facade. .../2 (See over)

Reasons for listing
A well-constructed mansion exhibiting a transitional phase of late nineteenth century
architectural styles which, in its idyllic setting overlooking Middle Harbour, is still
reminiscent of the isolation of this area before the turn of the century. The building
also has historical links with Professor Theodor Thomas Gurney and with the early
twentieth century philanthropy of A E Dalwood.

Sketch plan and photos
Attach additional photos
if any.



DESCRIPTION (CONTINUED)

A carriage house to the north west of the building retains an iron roof and scalloped barge boards. The Girls Wing was added in 1958 and the Games Wing in 1968. Curtilage includes the area to property boundary.

COMMITTEE REFERENCES:

LSC/62:	13/ 9/76:	recommended RECORD
Council:	22/11/76:	Approved "

Absolute Water Frontages. Fine Panoramic Views.

For Auction Sale on the Ground at 3 p.m., Saturday, 4th February, 1922

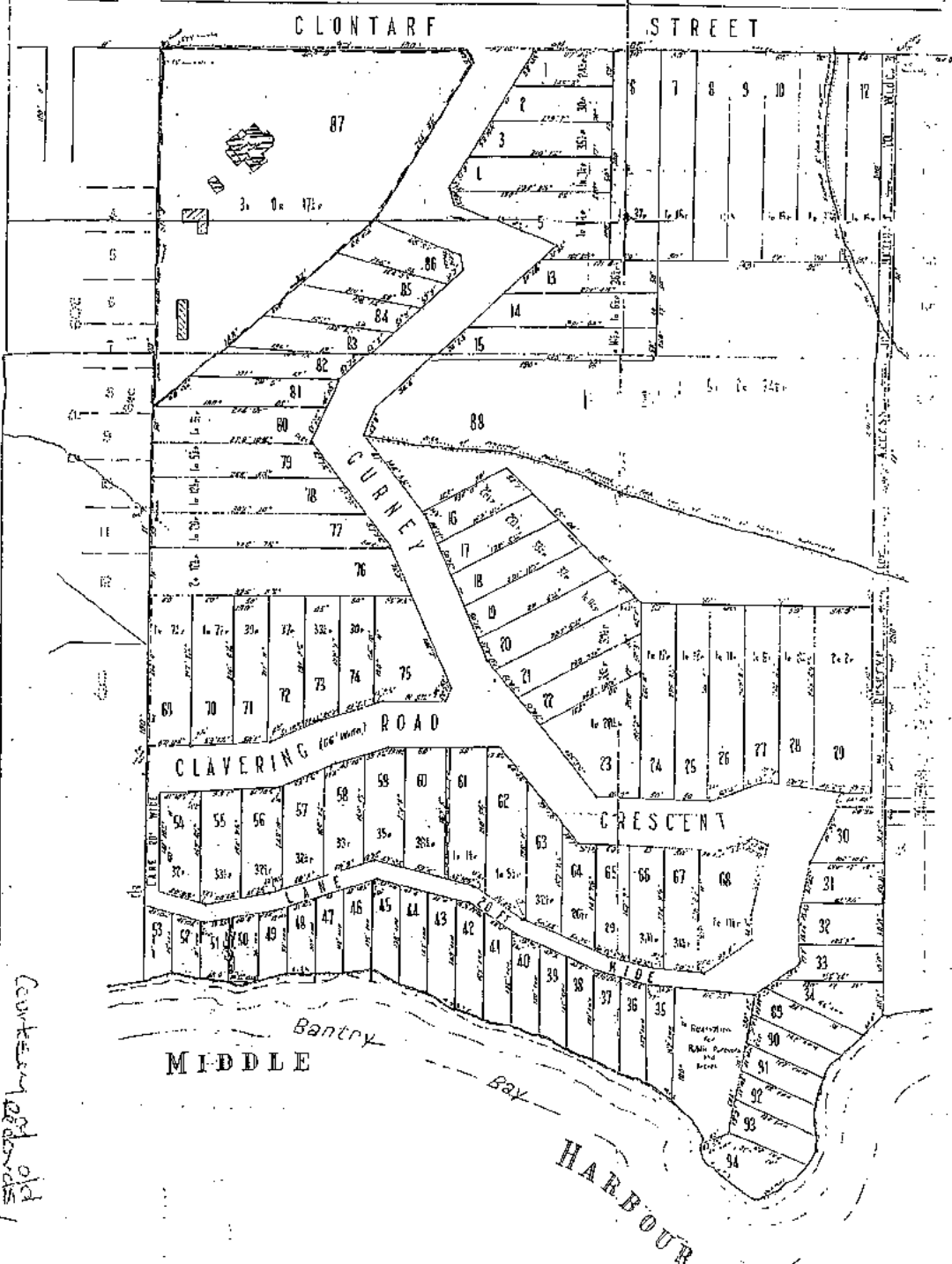
By A. E. Dalwood, Auctioneer, 82 Pitt Street, Sydney.

Easy Terms

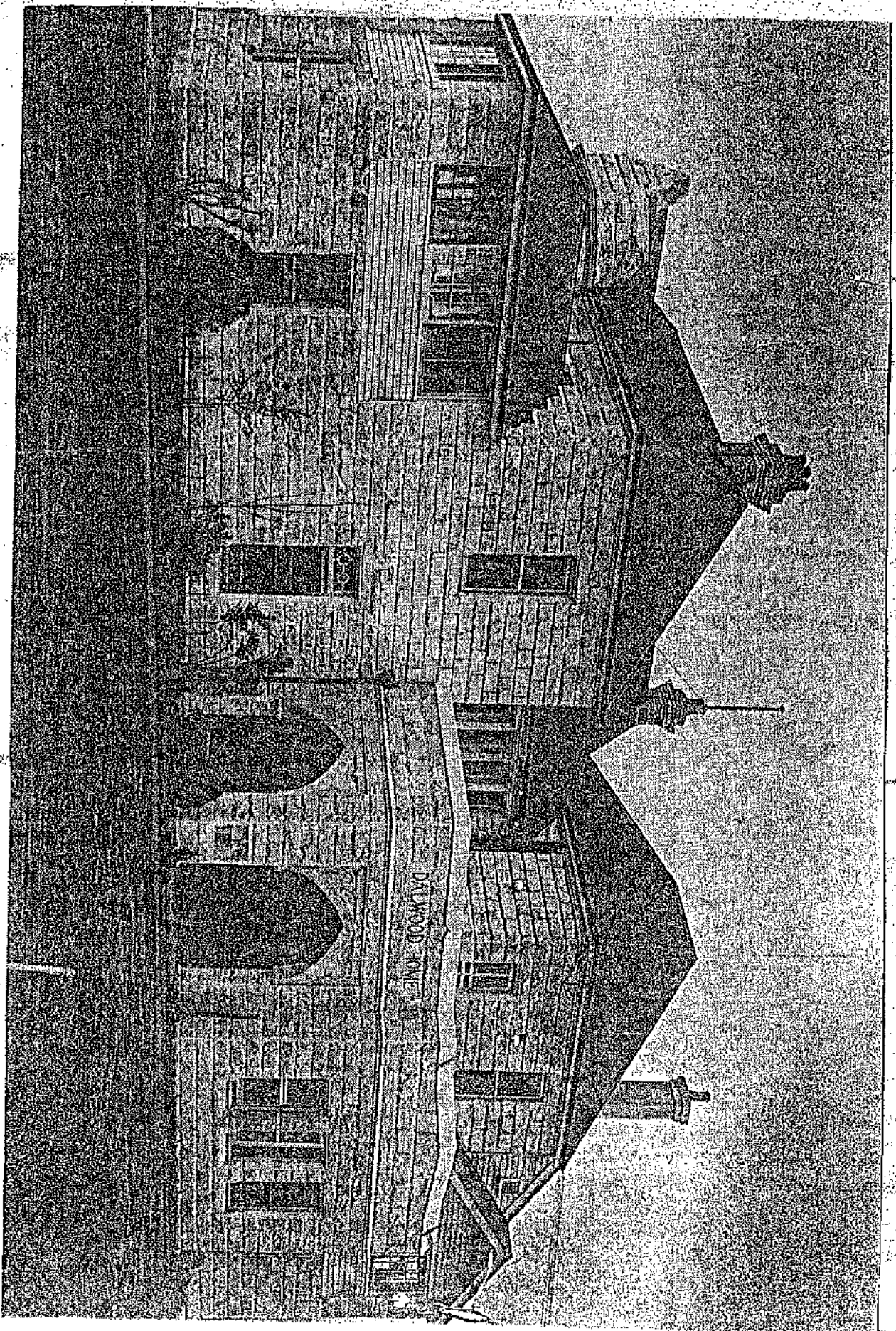
10 per cent. deposit, balance in 12 equal monthly instalments, with interest at 6 per cent.

Title will be
Torrens

All measurements
subject to deposited
plan.



Produced by E.B.



40

Town, District, Location	Name/ Identification of Classification	Statistical Region
Seaforth	Manly Urban Conservation Area Precinct 5 Seaforth	
Local Government Authority & Postal Address		
Manly Municipal Council		
Authors of Classification	Date of Proposal	Date of Approval
Scott Robertson	March 1995	24 SEP 1997
<p>Boundary Description</p> <p>Commencing at the corner of Sydney Road and Frenchs Forest Road proceed east along Ethel Street to Manly Road. Proceed south along Manly Road to the rear boundaries of the properties facing the south side of Ethel then proceed west along those boundaries to the rear boundaries of the properties facing the east side of Sydney Road.. Proceed south along those boundaries to Sydney Road then cross Sydney Road to Old Sydney Road and proceed west along the south boundaries of the first property on the west side of the corner of Old Sydney Road and Sydney Road and then west along the rear boundaries of the properties on the south side of Ponsonby Parade to Panorama Parade then proceed west along Panorama Lane to Palmerston Place. Proceed west along Alan Avenue to the rear boundaries of the properties on the west side of Palmerston Place. Proceed south and west along those rear boundaries to the west boundary of the fifth allotment facing the south side of Alan Avenue. Proceed north-west along that boundary, continue across Alan Avenue and along the west boundary of the second property fronting Alan Avenue. Proceed north-west along that boundary to the rear boundaries of the properties on the west side of Salisbury Square. Proceed north along those boundaries to Ponsonby Parade then proceed east along Ponsonby Parade to Aden Street. Proceed north along Aden Street to the rear boundaries of the properties on the north side of Grandview Grove. Proceed east along those boundaries to the west boundary of the third allotment in Ellery Parade west of the corner of Panorama Parade and Ellery Parade. Proceed north along that boundary, cross Ellery Parade and proceed north along the rear boundaries of the properties facing the east side of Reid Street to the rear boundaries of the properties facing the north side of Ellery Parade. Proceed east along those rear boundaries to the west boundary of the sixth allotment in Peacock Street west of the corner of Reid and Peacock Streets. Proceed north along that boundary to the rear boundaries of the properties facing the north side of Peacock Street then proceed east along those boundaries to the west boundary of the second allotment fronting the south side of Macmillan Street. Proceed north along that boundary, across Macmillan Street to Frenchs Forest Road. Proceed east along Frenchs Forest Road to Brook Road then north along Brook Road to Burnt Bridge Creek. Follow the creek east to the east boundaries of the properties facing the east side of Dudley Street. Proceed south along those rear boundaries to the rear boundaries of the properties facing the north side of Sydney Road. Proceed west along those boundaries to Frenchs Forest Road then proceed south along Frenchs Forest Road to Sydney Road.</p>		
<p>History</p> <p>Recognising its natural advantages and resort and residential potential, Henry Gilbert Smith, moved to Manly in 1827 and, in the 1850s, and built his large house 'Fairlight'. He became known as 'the father of Manly' because of his vision and attempts to develop the area as a seaside resort. Smith built cottages, a hotel, a school, a church, and swimming baths. It is he who is credited with planting the famous Norfolk Island Pine trees along the ocean beach as well as the Moreton Bay figs which grace the Corso in the heart of Manly. The district's early growth was a direct consequence of Smith's ferry service to Circular Quay which began in 1854. The Port</p>		

History continued

Jackson and Manly Steamship Companies started their operations in 1876¹. Trams, and later buses, continued the passenger service to Narrabeen. A small shopping centre evolved around the wharf².

The municipality of Manly was incorporated in 1877 with the Cornish designer of the Great Synagogue of Sydney, Newington College and Sydney Hospital, Thomas Rowe (1829-1899) as its first mayor. Gaslights were provided to a limited number of streets in the central settlement by the Manly Gas and Coke Company established in 1883 and the Manly Electric Light Company lit their first lights on 19 October 1906. The council provided its own water supply by constructing Manly Dam. Urban expansion in the Manly district began after World War 1 when there was a boom in the building of flats which continued through the 1920s and 1930s. Those who occupied them were affluent young tenants who commuted by ferry to their Sydney employment³. From 1921 to 1933, Manly's population increased by 26 per cent (18,507 to 23,259), and figures for occupied dwellings rose by 66 per cent (3,587 to 5,962). It became more affluent, the average number of people per dwelling being five in 1921, four in 1933, and three by 1947. In 1933 the proportion of brick to timber dwellings was 4 to 1: by 1947 it was about 7.6 to 1 and there was little use of fibro⁴.

Description

The Seaforth Precinct contains a mixture of housing types from the 1920s, 1930s and early 1940s but the predominant type are 1930s houses. The houses in Ponsonby Parade and Palmerston Place are large (often two-storey) 1930s and 1940s houses with some significant single storey "waterfall front", white-painted and rendered houses (such as "Leeds", 19 Palmerston Place). Housing to the east of Frenchs Forest Road is predominantly 1920s Californian Bungalows.

There are many mature street trees within the precinct.

Reasons for Classification/Statement of Significance

Manly Urban Conservation Area Precinct 5 (Seaforth) is important because:

- 1) The area possesses streetscape integrity because it was developed during one period and the excellent state of preservation of the houses and gardens.
- 2) The area has a uniformity of housing style including colour, form and architectural detail that gives the area an harmonious appearance.
- 3) The predominance of the Californian Bungalow type in the eastern section illustrates the important influence of American housing ideals and styles on Australia as an important adjunct to the previous English- and Indian-derived bungalows.
- 4) The large houses are an excellent collection of upper middle class housing of the period.
- 5) The few excellent examples of Modern houses are a rare example of that housing type in Sydney.
- 6) It reflects the availability of finance enabling the middle class to borrow money and finance the purchase of a house and epitomises the great diversion of funds in Australia from private investment in industry and infrastructure to "non-productive" investment in private housing.
- 7) By virtue of the importance of home ownership in Australia, the area embodies the success in successive Australian governments' political control and subjection of the electorate.
- 8) The location of residential flat buildings close to tram transport reflects the importance of that building type in providing affordable housing which was accessible by public transport.

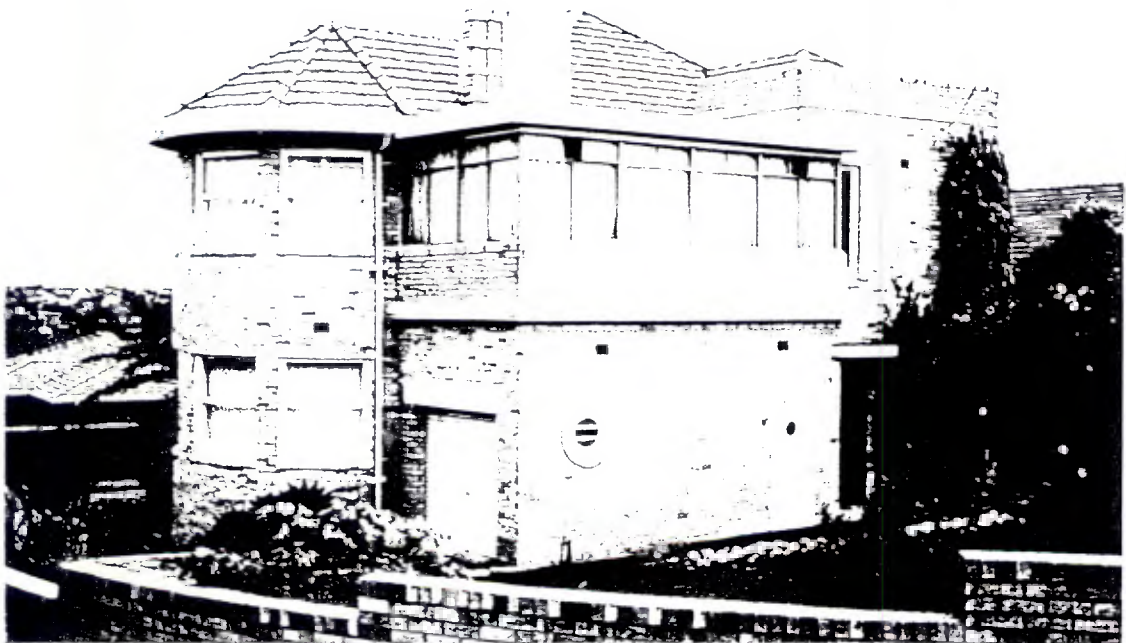
Bibliography

- 1 Brian and Barbara Kennedy, *Sydney and Suburbs: A History and Description*, A.H. & A.W. Reed Pty Ltd, 1982, p 90; Paul Ashton, "Inventing Manly" in Max Kelly (ed), *Sydney: City of Suburbs*, UNSW Press, 1987, pp149-159
- 2 Peter Spearritt, *Sydney Since the Twenties*, Hale and Iremonger, Sydney, 1978, pp 43-45
- 3 Manly Heritage Study, pp 139-143
- 4 Census 1921, 1933, 1947

Photographs



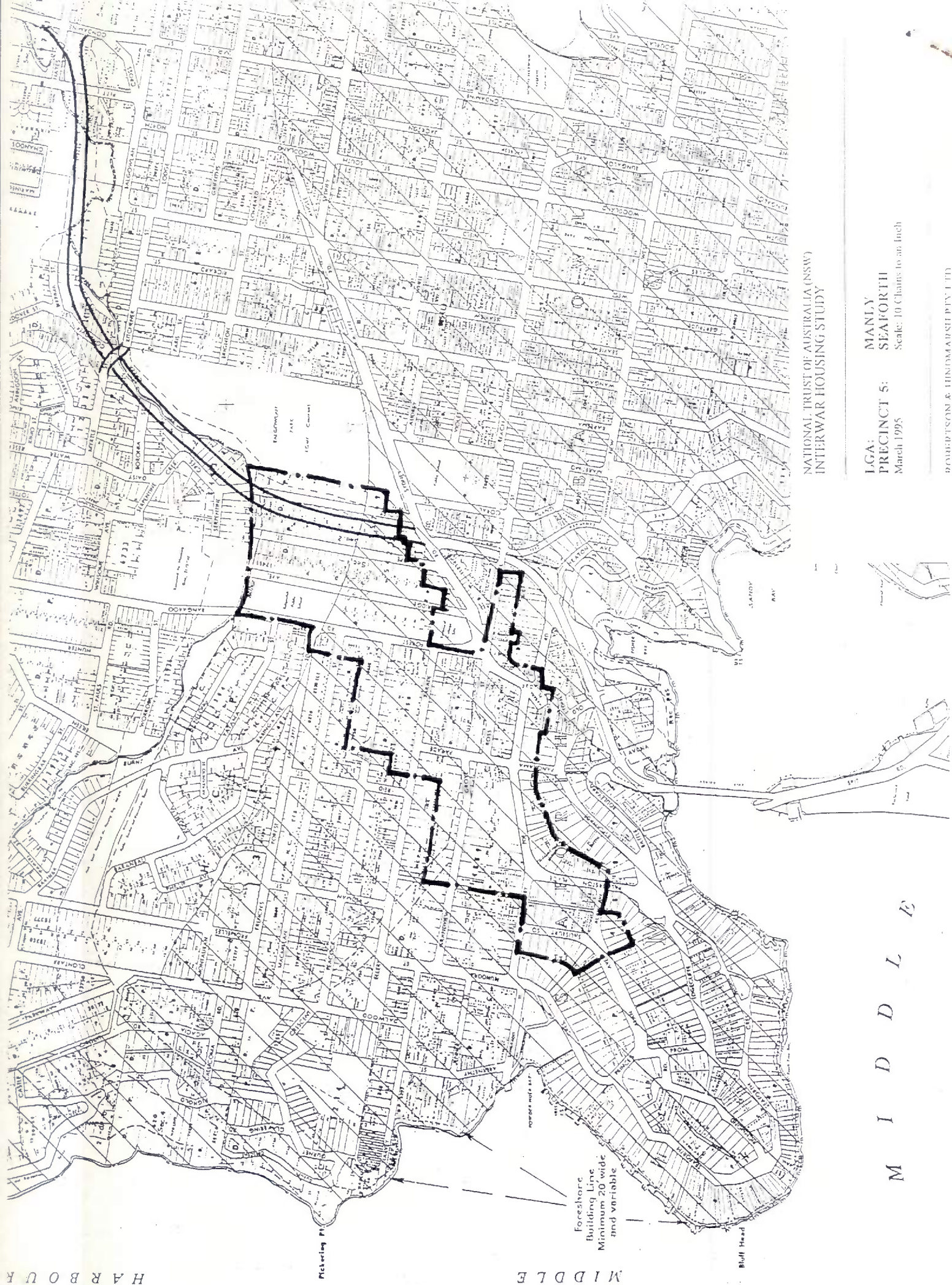
Photo: "Leeds", 19 Palmerston Parade, Seaforth
(Robertson & Hindmarsh Pty Ltd photo April 1993)



Upper photo: 14 Palmerston Parade, Seaforth
Lower photo: 19 Ponsonby Parade, Seaforth
(Robertson & Hindmarsh Pty Ltd photos April 1993)



Upper photo: 15 Ponsonby Parade, Seaforth
Lower photo: 24 Ponsonby Parade, Seaforth
(Robertson & Hindmarsh Pty Ltd photos April 1993)



NATIONAL TRUST OF AUSTRALIA (NSW)
INTERWAR HOUSING STUDY

LGA: MANLY
PRECINCT 5: SEAFORTH
March 1995
Scale: 10 Chains to an Inch

ROBERTSON & HINDMARSH PTY LTD

M I D D L E